



# *County of Roanoke* **PLANNING COMMISSION**

Mr. Gene Marrano, Chairman  
Mr. Rick James, Vice-Chairman  
Mr. Wayne Bower  
Ms. Martha Hooker  
Mr. Jim Woltz

Cave Spring District  
Vinton District  
Hollins District  
Catawba District  
Windsor Hills District

## **AGENDA** **TUESDAY, MARCH 3, 2015** **WORK SESSION: 4:00 P.M. BOARD MEETING ROOM** **PUBLIC HEARING: 7:00 P.M. BOARD MEETING ROOM**

### **WORK SESSION**

- A. Call to Order
- B. Approval of Agenda
- C. Approval of Minutes: February 3, 2015
- D. Consent Agenda: April 7, 2015
- E. Presentation on Roanoke River Greenway Progress in Roanoke County – Doug Blount and Lindsay Blankenship
- F. Citizens' Comments
- G. Comments of Planning Commissioners and Planning Staff
- H. Adjournment for Dinner

### **EVENING SESSION**

- I. Call to Order
- J. Invocation/Pledge of Allegiance: Mr. Rick James
- K. Public Hearing Petitions:
  - 1. The petition of Fountain Head Land Company, LLC, to amend the proffered conditions, the Planning and Design Document and the Master Plan for the Planned Residential Development (PRD) known as Ballyhack Golf Club (formerly Fountain Head Golf Resort). The proposed amendments would: change the name of Fountain Head Golf Resort to Ballyhack Golf Club; allow access onto Pitzer Road; remove language regarding minimum house sizes; increase the maximum

height of lighting from 16 feet to 18 feet; and allow the possibility of the maintenance facility and additional parking to be constructed on the south side of Pitzer Road. The Ballyhack Golf Club PRD measures approximately 368 acres and is located on Pitzer Road near Saul Lane, Vinton Magisterial District.

2. The petition of Nexstar Broadcasting, Inc, to rezone approximately 5.59 acres from I-1, Low Intensity Industrial, District to C-2, High Intensity Commercial, District for communication services (television production and broadcasting), located at 5305 and 5310 ValleyPark Drive, Catawba Magisterial District.

- L. Final Orders
- M. Citizens' Comments
- N. Comments of Planning Commissioners and Planning Staff
- O. Adjournment



# *County of Roanoke* **PLANNING COMMISSION**

## **PUBLIC HEARING MINUTES FEBRUARY 3, 2015**

### **Commissioners Present:**

Mr. Wayne Bower  
Ms. Martha Hooker  
Mr. Rick James  
Mr. Gene Marrano  
Mr. Jim Woltz (arrived after approval of minutes)

### **Staff Present:**

Mr. Philip Thompson  
Mr. Ruth Ellen Kuhnel, Senior Assistant County Attorney  
Mr. John Murphy  
Ms. Megan Cronise (afternoon session only)  
Ms. Tammi Wood  
Ms. Tara Pattisall  
Ms. Becky James (evening session only)  
Mr. Brian Hughes  
Ms. Susan McCoy, Recording Secretary

### **Work Session**

Mr. Marrano called the meeting to order at 4:02 p.m.

### **Approval of Agenda**

Ms. Hooker made a motion to approve the agenda, which passed 4-0.

### **Approval of Minutes**

Mr. James made a motion to approve the minutes of January 6, 2015, which passed 4-0. Mr. Bower made a motion to approve the minutes of January 20, 2015, which passed 3-0-1, with Ms. Hooker abstaining.

### **Consent Agenda**

Ms. Pattisall provided an overview of the Fountain Head Land Company, LLC petition, including proposed changes to existing Masterplan. Ms. Pattisall and the Commissioners discussed proposed amendments regarding lighting height, housing square footage, and property access, and speed limit changes on Pitzer Road. Mr. Thompson, Ms. Pattisall and the Commissioners discussed the history of the development and sight distance requirements.

Ms. Wood provided an overview of the Nexstar Broadcasting, Inc. petition, including current zoning, surrounding zoning, and future land use designation of the area. She reviewed the concept plan, including existing buildings, parking, and antenna locations. Mr. Thompson, Ms. Wood, and the Commissioners discussed possible frequency interference with airport, allowable uses in industrial and commercial districts, and

proposed number of employees. They also discussed requesting proffered conditions from the petitioner.

Mr. Bower made a motion to approve the consent agenda, which passed 5-0

### **Citizen Comments**

There were none.

### **Commissioners' and Staff Comments**

Mr. Thompson discussed an incomplete application which was received for a convenience store. He stated he will provide an update to the Commissioners when more information is received.

Mr. Thompson, Ms. Kuhnel, and the Commissioners discussed hiring a technical expert to review the Morgan Ventures application. They discussed adding a required fee for applications involving advanced technology for analysis by an expert. Mr. Thompson and the Commissioners discussed viewshed maps. They also discussed additional reports previously requested from the applicant which have not been received by staff. Ms. Wood and the Commissioners discussed the Comprehensive Plan and the Bonsack area.

Mr. Marrano adjourned the meeting for dinner at 4:59 p.m.

### **EVENING SESSION**

Mr. Marrano called the Public Hearing to order at 7:01 p.m. Ms. Hooker gave the invocation and led the pledge of allegiance.

1. The petition of Sheldon Henderson to rezone approximately 90 acres from R-1, Low Density Residential, District to AG-3, Agricultural/Rural Preserve, District on property located at 3320 Harborwood Road, Catawba Magisterial District. Ms. Pattisall presented the staff report including a brief history of the property, surrounding zoning, and future land use designation. Ms. Hooker inquired about use of the property. Ms. Pattisall stated the petitioner has stated the property will be for private farm use and possibly subdivided for his children.

Mr. Sheldon Henderson stated he plans to use the property as a hobby type farm. Mr. Marrano inquired if the petitioner had received any objections from neighbors. Mr. Henderson stated he had not received any complaints. Ms. Hooker noted when the area was comprehensively rezoned the County thought redevelopment would be increasing in the area. Mr. Henderson discussed the steep terrain of the property. Ms. Hooker inquired about applicable permits. Mr. Henderson stated he has current erosion and sediment control permits. Mr. Woltz noted the property does not lend itself to development.

Mr. Marrano opened the public hearing for public comment.

Howell Gorman, 3675 Harborwood Road, stated he does not have an issue with a family farm but with dumping of debris and constant parade of trucks hauling

dirt to other construction sites in order for the petitioner to create a building site. He stated other mixed materials and debris has been trucked and dumped onto this site. He stated truck traffic on Harborwood Road is excessive for the condition of the road, noting the road is not two lanes wide creating safety concerns. He stated the surrounding property is residential. He stated a special use permit should be required for dumping on the property.

With no other citizens requesting to speak, Mr. Marrano closed the public hearing.

Ms. Hooker requested staff to address the citizen concerns. Ms. Pattisall discussed the surrounding zoning and permitted uses, noting dumping in residential or agricultural zoning is not an allowable use. Ms. Hooker inquired about erosion and sediment issues. Ms. Pattisall reviewed this issue, noting driveway construction has been monitored by County engineering staff and the petitioner's permits are current.

Mr. Henderson stated he has been working on the property for the last five years, noting he has a permit to move dirt to other sites and move fill to his site. He stated the fill which has been placed on his property consists of hard debris, including concrete, rocks, and asphalt. Ms. Pattisall noted the driveway is approximately 2,000 feet long.

Ms. Hooker made a motion to recommend approval of the request.

Mr. Thompson called the roll and the motion passed (5-0) with the following vote:

AYES: Bower, Hooker, James, Marrano, Woltz  
NAYES: None  
ABSENT: None

2. The petition of Morgan Ventures, LLC to obtain a Special Use Permit for a broadcasting tower (cell tower) approximately 195 feet in height in a C-2, High Intensity Commercial, District on approximately 1.00 acre, located at 4247 Bonsack Road, Vinton Magisterial District. Ms. Wood presented the staff report, including topography, buffering, future land use designation, and concept plan. She stated two reports requested by the County, NEPA (National Environmental Protection Act) document and Section 106 Review (Historic Resources), have not been received by staff.

Mr. James requested clarification of restrictions when asking the petitioner questions about the application. Ms. Kuhnle reviewed the criteria established by the FCC regarding this issue. Mr. James asked if information has been received by staff regarding a new entrance. Ms. Wood stated no information has been received regarding this issue. Mr. James inquired about documents which have not been received by staff. Ms. Wood discussed this issue. Mr. James inquired about the existing condition of the property. Mr. Murphy stated there is an active

zoning violation case on the property. He stated this case is to be kept separate from the special use request.

Mr. Tom Terrell, Esquire, Smith Moore Leatherwood LLP, discussed AT&T's current lease on the property. He reviewed the history of the petition and the available technology. He discussed construction of towers and co-location on existing towers. He discussed the Blue Ridge Parkway comments, noting the petitioner agrees to build a monopole tower with flush-mount antennas. He discussed fencing and landscaping issues, noting the petitioner does not have permission from the landowner to construct a 40 foot landscaping buffer. He discussed the viewshed, noting the tower would not be on the Blue Ridge Parkway side but towards Route 460. He stated the petitioner is trying to make the tower fit into the community.

Mr. Harold Timmons, Development Specialist, H. Timmons Consultant, reviewed the site plan, including setback requirements, building size, fencing, and generator location in case of a power outage. He reviewed the propagation mapping, including radio frequency engineering, elevation, tower height, topography, and other factors which affect coverage. He stated the distance between nearby existing towers is 1.5 miles and 2 miles. He reviewed other sites which the petitioner researched to locate the proposed tower, noting the Magnotti property has all factors needed by the petitioner. Mr. James inquired if an AT&T representative was present for the public hearing. Mr. Timmons stated the representative did not attend the public hearing.

Mr. James inquired about documents requested by staff. Mr. Terrell stated they are in the process of acquiring the requested documents which can take one to six months. Mr. Gerry Sharpe, Sharpe Resources, LLC, stated the documents should be available within two to four weeks. Mr. Terrell stated models for the tower are looking towards future use. Mr. Woltz inquired about need for coverage. Mr. Timmons stated coverage is internal to AT&T. He discussed testing of the signal. Mr. Marrano inquired about the reason other companies have not made this request. Mr. Timmons stated sometimes other companies are looking at the same area but do not come forward until the tower is constructed.

Ms. Hooker noted the Commission is only allowed to discuss certain items regarding the broadcasting tower. Mr. James stated the Commission can only address land use issues relative to the tower.

Mr. Marrano opened the public hearing for public comment.

Lori Foster, 4535 Red Barn Lane, stated that a representative of WSLs 10 reported that AT&T had pulled out of the agreement in November, 2014. She stated E911 coverage is important but new technology is available which would not damage the area. She stated that when Lynchburg would not allow this type of tower, AT&T used fiber optics. She requested that the Commission vote against the petition.

Theodore Foster, 4535 Red Barn Lane, discussed encouraging co-location on existing towers which are 1.7 miles apart. He stated a similar request was made in March, 2014, in Botetourt County. He stated the petitioner's request is not in compliance with the County's Zoning Ordinance or the Comprehensive Plan. He stated it is the Commission's civic responsibility to comply with the Comprehensive Plan to protect historical features and neighborhoods. He discussed loss of property value due to the tower. He requested the Commission vote against the petition.

Deedie Kagey, 4496 Bonsack Road, stated her home was built in 1830's. She stated she opposes the tower being constructed at the entry of the community. She stated it will be compromise the beauty of the area. She provided a history of the Bonsack area, noting it is a residential area and not a good location for the tower. She stated the area is the pride of the Read Mountain Conservancy. She questioned if the tower is truly needed in this area.

Richard James, 4257 Bonsack Road, stated his house would be 150 feet from the tower, noting if the tower falls it would land on his house.

Mr. Marrano adjourned the meeting for a break at 8:29 p.m. and reconvened at 8:38 p.m.

Tommy Firebaugh, 4703 Phyllis Road, discussed the beauty of the area, including the Blue Ridge Parkway and Read Mountain. He stated he is a photographer. He discussed the negative effect the tower would have on property values. He noted the petitioner does not live in Bonsack. He discussed new technology and old technology. He requested the Commission help the area remain undisturbed.

Katherine Firebaugh, 4703 Phyllis Road, discussed protection of the viewshed and the effect the tower would have on property values. She discussed the owner's right to protect their property. She stated she was unable to find a dead spot for cell phone reception in the area.

Randolph English, 5154 Britaney Road, stated the tower will be visible from all directions. He questioned the scale of 2 miles between towers. He stated the area is pretty and the tower will be ugly. He stated the proposed location is in a hole so the tower has to be too tall. He stated the location is inappropriate.

Deborah Patterson, 4771 April Lane, stated she lives in the highest point in the area and will be able to see the cell tower. She described the community, noting people know each other and the area is serene. She stated the property values will decrease due to perceived risks regarding the tower. She stated the tower will affect the aesthetics of the area, noting it will obstruct and tarnish the views. She discussed the importance of preserving the neighborhood. She stated cell towers should be placed in commercial areas.

Kim Treadway, 4509 Red Barn Lane, discussed the adverse effect on the viewshed, including Blue Ridge Parkway and Read Mountain. She stated the area attracts sports enthusiasts. She stated the view of Read Mountain and Bonsack attracts homebuyers. She discussed protecting scenic integrity and the viewsheds.

John Treadway, 4509 Red Barn Lane, stated his wife rides her horse through nearby mountains. He stated he is concerned property values will decrease. He stated many people feel the cell tower is a threat to their health. He stated the tower would be 100 feet above the viewshed.

Fred Abbott, 2353 Coachman Drive, stated he was at the Community Meeting. He stated that he is willing to put the tower at his house in a grove of pine trees.

Barbara Duerk, 2607 Rosalind Avenue, stated the petitioner is in the business of erecting towers, noting if the petitioner was interested in the area he would have offered to construct monopole design initially. She stated the tower needs to be 195 feet in height because it is sitting in a hole. She stated the cell tower will be between the Bonsack neighbors and Read Mountain. She stated cell towers are obsolete, noting technology has changed. She stated Albemarle County allows cell towers no taller than the tree canopy.

Rickie Agee, 4629 Phyllis Road, stated the area is beautiful and laid back. He requested that the petition be denied, noting the tower will take away from the area.

Frank Adams, 4439 Stoney Ridge Drive, stated the petitioner misrepresented coverage. He stated that the AT&T commercial stated it has the best coverage.

Harry Bundy, 4731 Phyllis Road, stated the petitioner said at the meeting that cell towers were just beginning to blossom. He provided a history of the area. He stated the railroad currently has fiber optics for AT&T and Sprint. He stated he is concerned about electronic waste.

Mr. Terrell discussed historical changes in the Bonsack area, including electricity, highways, subdivisions, and wireless infrastructure. He discussed cell towers and the importance of cell phone usage. He stated the tower is not in the Blue Ridge Parkway viewshed but would be visible. He stated other locations were previously considered. He stated he has not seen a market impact analysis which shows cell towers affect values of adjoining properties.

Mr. Woltz inquired about the investment amount and return of investment. Mr. Terrell discussed these issues. Mr. Woltz inquired about the lease. Mr. Terrell stated the lease on the property is by Morgan Ventures and AT&T is paying the lease, noting the payments are current. Mr. Woltz inquired about the requested reports. Mr. Terrell stated the petitioner is willing to postpone the hearing until the reports have been received. Ms. Hooker stated the application is currently incomplete without the reports. Mr. Bower inquired if the tower was for future



use. Mr. Terrell discussed this issue. Mr. Bower discussed acquiring a third party to review the application. Mr. Thompson discussed this issue, noting the importance of allowing time for staff, Commissioners, and citizens to review the reports. Mr. Terrell agreed with the postponement and stated the petitioner will stay in close contact with staff regarding the status of the requested documents.

Mr. James stated the Commission has a burden of due diligence to make sure they have all the information in order to make prudent decisions. He reviewed conversations and communications with citizens regarding the petition, noting he is not a member of the Bonsack community but does represent the area. He stated the concerns of the community relate to historic features, viewshed, visibility, home values, compliance with the Comprehensive Plan, and the purpose and the need of the tower. He stated it is the policy of the County to encourage co-location on existing towers. He stated the technical issues of the petition are difficult to understand. He stated the County's policy indicates that building of new towers should only be requested when no other reasonable alternative exists. He stated the decision regarding the request should be based off of technical merits. He stated the balloon test was performed on a windy day and may or may not give proper representation of the tower. He discussed the importance of the two reports which have been requested but not received by staff. He stated he was disappointed that an AT&T representative was not in attendance at the public hearing. He stated an independent analysis of the application is needed. He discussed the importance of giving staff, Commissioners, and the public ample time to review all documents.

Mr. James made a motion to recommend continuing the public hearing until April 7, 2015, in order to receive and review the NEPA (National Environmental Protection Act) document, Section 106 Review (Historic Resources), and an independent analysis of technical merits of the application.

Mr. Thompson called the roll and the motion passed (5-0) with the following vote:

AYES: Bower, Hooker, James, Marrano, Woltz

NAYES: None

ABSENT: None

Mr. Thompson and the Commissioners discussed speaking to the applicant regarding repeating the balloon test.

Ms. Foster inquired about the contents of the NEPA document. Mr. Terrell discussed this issue.

### **Final Orders**

1. The petition of Roger and Deborah Rardin to rezone an approximately 8.00 acre portion of an approximately 19.44 acre parcel from I-2, High Intensity Industrial, District to R-1, Low Density Residential, District and to remove a proffered condition from the 11.44 acre portion of the property zoned R-1, Low Density Residential, District, located west of the Norfolk Southern Railroad near the 5000

block of Poor Mountain Road and north of Bydawyle Road, Catawba Magisterial District was approved by the Board of Supervisors at a Public Hearing on January 27, 2015.

**Citizen Comments**

There were none.

**Commissioners' and Staff Comments**

Mr. Thompson stated that Mr. Doug Blount and Ms. Lindsay Blankenship will provide an update regarding the Roanoke River Greenway at the February 17, 2015 Planning Commission Work Session.

Mr. Thompson provided an update on the Planner II position.

Mr. Thompson and the Commissioners discussed consulting an expert for certain petitions involving technology. The consensus of the Commission was to contract a consultant to interpret technological issues.

Mr. Woltz noted he will not be attending the March 3, 2015 Planning Commission Public Hearing.

With no further business or comments, Mr. Marrano adjourned the meeting at 9:44 p.m.

Respectfully Submitted:

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Susan McCoy  
Recording Secretary, Roanoke County Planning Commission

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Philip Thompson  
Secretary, Roanoke County Planning Commission

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Gene Marrano  
Chairman, Roanoke County Planning Commission

## STAFF REPORT

Petitioner:	Fountain Head Land Company, LLC
Request:	To amend the proffered conditions, the Planning and Design Documents and the Master Plan for the Planned Residential Development (PRD) known as Ballyhack by removing language restricting the minimum house size, revising the maximum height of lighting, changing the name of the development to Ballyhack Golf Club throughout the document, revising the language to allow for possible construction of a maintenance facility and parking in an area originally planned for cottages, and removing language restricting access onto Pitzer Road.
Location:	3609 Pitzer Road
Magisterial District:	Vinton Magisterial District
Revised Proffer:	<ol style="list-style-type: none"><li>1. The developer hereby proffers substantial compliance with the PRD rezoning document titled "Ballyhack Golf Club", prepared by Balzer and Associates, Inc. dated 8-17-05 and last revised 1-21-2015.</li></ol>
Proposed Amendments to Planning and Design Documents:	<ol style="list-style-type: none"><li>1. The name Fountain Head Golf Resort has been changed to Ballyhack Golf Club throughout the Planning and Design Documents and the status of the project (existing conditions) have been updated.</li><li>2. The language that limits access onto Pitzer has been revised to reflect that they will be developed per VDOT standards. Since the property was rezoned the speed limit on Pitzer has been reduced from 55 MPH to 35 MPH. In addition the golf course has been established better defining the development pattern for the property. There is very limited road frontage left for any residential lots to access Pitzer thereby limiting the potential number of access points, and the fact that the speed limit has been reduced to 35 MPH provides for a much safer situation.</li><li>3. The language restricting the minimum house sizes has been removed.</li><li>4. The maximum height of lighting has been revised from 16' to 18' to allow for the use of AEP post top lights.</li><li>5. The Master Plan has been revised to reflect the possibility of the maintenance facility and additional parking being constructed on the south side of Pitzer Road in an area originally planned for cottage development.</li></ol>

### EXECUTIVE SUMMARY:

Fountain Head Land Company, LLC is requesting to amend the Ballyhack Golf Club master plan document. These amendments include removing language restricting the minimum house size, revising the maximum height of lighting, changing the name of the development to Ballyhack Golf Club throughout the document, revising the language to allow for possible construction of a maintenance facility and parking in an area originally planned for cottages, and removing language restricting access onto Pitzer Road.

This site is designated Rural Village and is in conformance with the 2005 Future Land Use designation. This designation is in areas where limited development activity has historically occurred and where suburban or urban development patterns are discouraged. These rural

areas are generally between intense suburban development patterns and designated Conservation and Rural Preserve areas.

## 1. APPLICABLE REGULATIONS

A Planned Residential Development is defined as a district to provide for the development of planned residential communities that incorporate a variety of housing options as well as certain limited commercial and office uses designed to serve the inhabitants of the district. Incorporation of significant areas of open space is a primary component of these provisions as a means to maintain critical natural and cultural resources.

Section 30-47-6 states that major revisions to the final master plan shall be reviewed and approved following the procedures and requirements of Section 30-47-5 (see attached section). Major revisions include, but are not limited to changes such as: substantial changes in the circulation or access; substantial change in the mixture of dwelling unit types included in the project; or any other change that the administrator finds is a major divergence from the approved final master plan.

Virginia Department of Transportation (VDOT) review will be required for any new entrance permits located along Pitzer Road.

Roanoke County site plan review will be required for all new development on the site.

## 2. ANALYSIS OF EXISTING CONDITIONS

Background –This property was originally called the Saul Farm and consisted of approximately 375 acres spanning both the north and south sides of Pitzer Road (State Route 617).

In 2004 a portion of the property was rezoned from AG-3, Agricultural/Rural Preserve to AR, Agricultural/Residential district with conditions and a Special Use Permit for the development of a golf course with conditions that the density for the rezoned area comply with the AG-3 zoning district standards.

In 2005, the 375 acre Fountain Head Golf Resort Planned Residential Development was approved by the Board of Supervisors. This new development included an 18-hole golf course, golf clubhouse, 30 4-bedroom cottages, maintenance facility, 89 residential lots and a golf cart/pedestrian tunnel under Pitzer Road connecting the 18-hole golf course.

In 2009, the PRD was amended regarding the at grade golf cart crossing on Pitzer Road for Fountain Head Golf Resort (Ballyhack) after considering a reduction in the speed limit to 35 mph as well as the volume and character of motor vehicle traffic using Pitzer Road thus allowing the golf cart crossing to be above ground at grade. This included two conditions – substantial compliance with the PRD Master Plan document and substantial compliance with the golf cart crossing sketch shown as Exhibit A. This second condition also stated that the at grade golf cart crossing “shall not extend beyond October 1, 2012 at which time a tunnel under Pitzer Road shall be constructed subject to VDOT approval.”

In 2011 the PRD master plan was amended to decrease the maximum number of cottages, decrease the maximum number of bedrooms in the clubhouse, increase the maximum number of residential lots to 110, reduce the minimum lot size and road frontage for the residential lots south of Pitzer Road, and to amend a proffered condition regarding the required golf cart crossing tunnel and the timing of its construction.

Topography/Vegetation – The golf course is divided by Pitzer Road and consists of gently rolling, rocky hills and densely vegetated areas. The site slopes down on both sides from Pitzer Road to Horseshoe Branch Creek and an unnamed creek. There are few trees in the golf course area but vegetation is generally sparse due to the construction of the golf course. The residential areas are generally well wooded with mature trees.

Surrounding Neighborhood – The area to the north of the site consists primarily of single family residences on AG-3 and AR zoned parcels. The area to the east of the site consists of single family residences on AR zoned parcels. Parcels located south of the site are zoned AG-3, Agricultural/Rural Preserve and AG-1, Agricultural/Rural Low Density districts and AR, Agricultural Residential district zoned parcels. Parcels to the west of the site are zoned AR and AG-3.

The Blue Ridge Parkway (BRP) is located within approximately 500 feet from the most westerly point of the site. In previous BRP reviews, the park staff stated that the golf course would not be visible from the parkway however Blue Ridge Parkway staff has not submitted comments as of the date of this staff report.

### 3. ANALYSIS OF PROPOSED DEVELOPMENT

Site Layout/Architecture –The proposed PRD amendments removes language requiring a minimum house size of 2000 sq. ft., allows for the possibility of future location of a maintenance facility and parking in an area originally planned for cottages, and allows for 18' AEP post top street lights. No change in the site layout or number of lots is being sought at this time.

Access/Traffic Circulation – The proposed PRD amendments would also amend language allowing for the possibility of access onto Pitzer Road from some of the residential lots. Currently 4 lots could benefit from this change, with only one likely to use this form of access. Access onto Pitzer was restricted during the adoption of the PRD master plan due to the high speed limit of 55 MPH. Since 2005, the speed limit has been reduced from 55 MPH to 35 MPH. Any access onto Pitzer Road would require VDOT review. VDOT has offered no objections to the petition.

Fire & Rescue/Utilities - Offered no objections to the petition.

Economic Development - Offered no objections to the petition.

#### 4. CONFORMANCE WITH ROANOKE COUNTY COMMUNITY PLAN

In the Roanoke County Future Land Use guide, this site is designated Rural Village and is in conformance with the 2005 Future Land Use designation. This designation is in areas where limited development activity has historically occurred and where suburban or urban development patterns are discouraged. These rural areas are generally between intense suburban development patterns and designated Conservation and Rural Preserve areas.

Desirable housing in this designation is generally small scale, very low density; averaging one unit per acre and clustering of residential housing is encouraged. Parks and recreation areas in the Rural Village area are designed to preserve the environmentally sensitive character of the rural landscape. Existing land use patterns and zoning include locations where very low density residential and limited agricultural uses have developed in rural residential and agricultural zoning districts.

#### 5. STAFF CONCLUSIONS

The proposed amendments to the PRD master plan are mostly minor in nature. The only major revision, allowing access onto Pitzer Road will currently affect 4 lots, only one of which has expressed interest in this option. Any access onto Pitzer will require thorough VDOT review to insure all safety requirements are being met. These amendments will have very little impact on current or future property owners.

CASE NUMBER:	4-3-2015	
PREPARED BY:	Tara Pattisall	
HEARING DATES:	PC: 3/3/15	BOS: 3/24/15
ATTACHMENTS:	Application	
	Aerial Map	
	Zoning Map	
	Future Land Use Map	
	PRD - Planned Residential District Standards	

PZ-1500191



**County of Roanoke  
Community Development  
Planning & Zoning**

5204 Bernard Drive  
P O Box 29800

Roanoke, VA 24018-0798

(540) 772-2068 FAX (540) 776-7155

**For Staff Use Only**

Date received: 1/22/15	Received by: JM
Application fee: 735.00	PC/BZA date: 3/3/15
Placards issued:	BOS date: 3/24/15
Case Number 4-3/2015	

**ALL APPLICANTS**

Check type of application filed (check all that apply)

☒ **Rezoning** ☐ **Special Use** ☐ **Variance** ☐ **Waiver** ☐ **Administrative Appeal** ☐ **Comp Plan (15.2-2232) Review**

Applicants name/address w/zip

FOUNTAIN HEADLAND CO LLC  
3609 PITEER ROAD  
ROANOKE VA 24014

Phone:

540-427-1395

Work:

Cell #:

Fax No.:

540-427-1396

Owner's name/address w/zip

SAME AS ABOVE

Phone #:

Work:

Fax No. #:

Property Location

3609 PITEER ROAD  
ROANOKE VA 24014

Magisterial District:

VINTON

Community Planning area:

MOUNT PLEASANT

Tax Map No.:

Existing Zoning:

PRD

Size of parcel(s): Acres:

3684-

Existing Land Use:

PRD-GOLF/RESIDENTIAL

**REZONING, SPECIAL USE PERMIT, WAIVER AND COMP PLAN (15.2-2232) REVIEW APPLICANTS (R/S/W/CP)**

Proposed Zoning: PRD

Proposed Land Use: GOLF COURSE/RESIDENTIAL PRD

Does the parcel meet the minimum lot area, width, and frontage requirements of the requested district?

Yes ☒ No ☐ **IF NO, A VARIANCE IS REQUIRED FIRST.**

Does the parcel meet the minimum criteria for the requested Use Type? Yes ☐ No ☐

**IF NO, A VARIANCE IS REQUIRED FIRST**

If rezoning request, are conditions being proffered with this request? Yes ☐ No ☐

**VARIANCE, WAIVER AND ADMINISTRATIVE APPEAL APPLICANTS (V/W/AA)**

Variance/Waiver of Section(s) \_\_\_\_\_ of the Roanoke County Zoning Ordinance in order to:

Appeal of Zoning Administrator's decision to \_\_\_\_\_

Appeal of Interpretation of Section(s): \_\_\_\_\_ of the Roanoke County Zoning Ordinance

Appeal of Interpretation of Zoning Map to \_\_\_\_\_

Is the application complete? Please check if enclosed. **APPLICATION WILL NOT BE ACCEPTED IF ANY OF THESE ITEMS ARE MISSING OR INCOMPLETE.**

R/S/W/CP V/AA


Consultation  
Application  
Justification

R/S/W/CP V/AA


8 1/2" x 11" concept plan  
Metes and bounds description  
Water and sewer application

R/S/W/CP V/AA


Application fee  
Proffers, if applicable  
Adjoining property owners

I hereby certify that I am either the owner of the property or the owner's agent or contract purchaser and am acting with the knowledge and consent of the owner.

*[Signature]*

Owner's Signature

PLEASE SEND ALL COMMENTS TO  
SEAN HORNE - shorne@balzer.cc  
BALZER and ASSOCIATES INC



**JUSTIFICATION FOR REZONING, SPECIAL USE PERMIT WAIVER OR COMP PLAN (15.2-2232) REVIEW REQUESTS**

Applicant Fountain Head Land Co LLC

The Planning Commission will study rezoning, special use permit waiver or community plan (15.2-2232) review requests to determine the need and justification for the change in terms of public health, safety, and general welfare. Please answer the following questions as thoroughly as possible. Use additional space if necessary.

Please explain how the request furthers the purposes of the Roanoke County Ordinance as well as the purpose found at the beginning of the applicable zoning district classification in the Zoning Ordinance.

SEE ATTACHED

Please explain how the project conforms to the general guidelines and policies contained in the Roanoke County Community Plan.

SEE ATTACHED

Please describe the impact(s) of the request on the property itself, the adjoining properties, and the surrounding area, as well as the impacts on public services and facilities, including water/sewer, roads, schools, parks/recreation and fire and rescue.

SEE ATTACHED



## CONCEPT PLAN CHECKLIST

A concept plan of the proposed project must be submitted with the application. The concept plan shall graphically depict the land use change, development or variance that is to be considered. Further, the plan shall address any potential land use or design issues arising from the request. In such cases involving rezonings, the applicant may proffer conditions to limit the future use and development of the property and by so doing, correct any deficiencies that may not be manageable by County permitting regulations.

The concept plan should not be confused with the site plan or plot plan that is required prior to the issuance of a building permit. Site plan and building permit procedures ensure compliance with State and County development regulations and may require changes to the initial concept plan. Unless limiting conditions are proffered and accepted in a rezoning or imposed on a special use permit or variance, the concept plan may be altered to the extent permitted by the zoning district and other regulations.

A concept plan is required with all rezoning, special use permit, waiver, community plan (15.2-2232) review and variance applications. The plan should be prepared by a professional site planner. The level of detail may vary, depending on the nature of the request. The County Planning Division staff may exempt some of the items or suggest the addition of extra items, but the following are considered minimum:

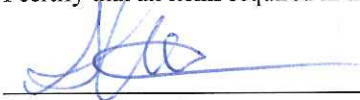
### ALL APPLICANTS

- ☒ a. Applicant name and name of development
- ☒ b. Date, scale and north arrow
- ☒ c. Lot size in acres or square feet and dimensions
- ☒ d. Location, names of owners and Roanoke County tax map numbers of adjoining properties
- ☒ e. Physical features such as ground cover, natural watercourses, floodplain, etc.
- ☒ f. The zoning and land use of all adjacent properties
- ☒ g. All property lines and easements
- ☒ h. All buildings, existing and proposed, and dimensions, floor area and heights
- ☒ i. Location, widths and names of all existing or platted streets or other public ways within or adjacent to the development
- ☒ j. Dimensions and locations of all driveways, parking spaces and loading spaces

### *Additional information required for REZONING and SPECIAL USE PERMIT APPLICANTS*

- ☒ k. Existing utilities (water, sewer, storm drains) and connections at the site
- ☒ l. Any driveways, entrances/exits, curb openings and crossovers
- ☒ m. Topography map in a suitable scale and contour intervals
- ☒ n. Approximate street grades and site distances at intersections
- ☒ o. Locations of all adjacent fire hydrants
- ☒ p. Any proffered conditions at the site and how they are addressed
- ☒ q. If project is to be phased, please show phase schedule

I certify that all items required in the checklist above are complete.

  
\_\_\_\_\_  
Signature of applicant

1/22/15  
\_\_\_\_\_  
Date



## POTENTIAL OF NEED FOR TRAFFIC ANALYSIS AND/OR TRAFFIC IMPACT STUDY

The following is a list of potentially high traffic-generating land uses and road network situations that could elicit a more detailed analysis of the existing and proposed traffic pertinent to your rezoning, subdivision waiver, public street waiver, or special use permit request. If your request involves one of the items on the ensuing list, we recommend that you meet with a County planner, the County traffic engineer, and/or Virginia Department of Transportation staff to discuss the potential additional traffic related information that may need to be submitted with the application in order to expedite your application process.

*(Note this list is not inclusive and the County staff and VDOT reserve the right to request a traffic study at any time, as deemed necessary.)*

### High Traffic-Generating Land Uses:

- Single-family residential subdivisions, Multi-family residential units, or Apartments with more than 75 dwelling units
- Restaurant (with or without drive-through windows)
- Gas station/Convenience store/Car wash
- Retail shop/Shopping center
- Offices (including: financial institutions, general, medical, etc.)
- Regional public facilities
- Educational/Recreational facilities
- Religious assemblies
- Hotel/Motel
- Golf course
- Hospital/Nursing home/Clinic
- Industrial site/Factory
- Day care center
- Bank
- Non-specific use requests

### Road Network Situations:

- Development adjacent to/with access onto/within 500-ft of intersection of a roadway classified as an arterial road (e.g., Rte 11, 24, 115, 117, 460, 11/460, 220, 221, 419, etc)
- For new phases or changes to a development where a previously submitted traffic study is more than two (2) years old and/or roadway conditions have changed significantly
- When required to evaluate access issues
- Development with ingress/egress on roads planned or scheduled for expansion, widening, improvements, etc. (i.e. on Long Range Transportation Plan, Six-Yr Road Plan, etc.)
- Development in an area where there is a known existing traffic and/or safety problem
- Development would potentially negatively impact existing/planned traffic signal(s)
- Substantial departure from the Community Plan
- Any site that is expected to generate over one hundred (100) trips during the peak hour of the traffic generator or the peak hour on the adjacent streets, or over seven hundred fifty (750) trips in an average day

**Effective date: April 19, 2005**



## NOTICE TO APPLICANTS FOR REZONING, SUBDIVISION WAIVER, PUBLIC STREET WAIVER, OR SPECIAL USE PERMIT PETITION

### PLANNING COMMISSION APPLICATION ACCEPTANCE PROCEDURE

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver or Special Use Permit petition if new or additional information is presented at the public hearing. If it is the opinion of the majority of the Planning Commissioners present at the scheduled public hearing that sufficient time was not available for planning staff and/or an outside referral agency to adequately evaluate and provide written comments and suggestions on the new or additional information prior to the scheduled public hearing then the Planning Commission may vote to continue the petition. This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the new or additional information and provide written comments and suggestions to be included in a written memorandum by planning staff to the Planning Commission. The Planning Commission shall consult with planning staff to determine if a continuance may be warranted.

### POTENTIAL OF NEED FOR TRAFFIC ANALYSES AND/OR TRAFFIC IMPACT STUDY

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver, or Special Use Permit petition if the County Traffic Engineer or staff from the Virginia Department of Transportation requests further traffic analyses and/or a traffic impact study that would be beneficial in making a land use decision (*Note: a list of potential land uses and situations that would necessitate further study is provided as part of this application package*).

This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the required traffic analyses and/or traffic impact study and to provide written comments and/or suggestions to the planning staff and the Planning Commission. If a continuance is warranted, the applicant will be notified of the continuance and the newly scheduled public hearing date.

**Effective date: April 19, 2005**

Ballyhack Golf Club

**Name of Petition**

[Signature]

**Petitioner's Signature**

1/22/15

**Date**

Planning and Design Documents for:

**BALLYHACK GOLF CLUB**

ROANOKE COUNTY, VA  
VINTON MAGISTERIAL DISTRICT

Prepared for:

Fountainhead Land Company, LLC  
1208 Corporate Circle  
Roanoke, VA 24018

Prepared by:

Balzer and Associates, Inc.  
1208 Corporate Circle  
Roanoke, VA 24018

Project # R0500234.00

Date: August 17<sup>th</sup>, 2005

Revised:

August 18<sup>th</sup>, 2005  
August 19<sup>th</sup>, 2005  
August 14, 2009  
October 7, 2009  
November 3, 2010  
November 29, 2010  
January 21, 2015



## **Table of Contents:**

<b>I.</b>	<b>Table of Contents</b>	Page 2
<b>II.</b>	<b>Introduction</b>	Page 3
<b>III.</b>	<b>Vicinity Map</b>	Page 4
<b>IV.</b>	<b>Site Summary</b>	Page 5
<b>V.</b>	<b>Residential Design Guidelines</b>	Page 7
<b>VI.</b>	<b>Overnight Lodging/Guest Cottages and Clubhouse Design Guidelines</b>	Page 9
<b>VII.</b>	<b>Concept Master Plan</b>	Page 11
<b>VIII.</b>	<b>Boundary and Adjacent Property Map</b>	Page 12
<b>IX.</b>	<b>Adjacent Property Owners</b>	Page 13
<b>X.</b>	<b>Proffered Conditions</b>	Page 19

# **BALLYHACK GOLF CLUB**

## **INTRODUCTION**

Ballyhack Golf Club will cater to corporate entities and private individuals that demand and expect a first-class golf experience. First and foremost, Ballyhack will provide the best conditions for golf, on a one-of-a-kind 18-hole golf course with world class instruction and practice facilities. It will also offer up to 60 rooms of simple yet comfortable over night accommodations. The course will be designed to be reminiscent of traditional Scottish or Irish highland courses with long flowing native grasses, few trees and endless views of the Blue Ridge Mountains. A predominantly wooded residential area comprised of 110 lots surrounding the golf course is also anticipated.

The site is extraordinarily similar to the terrain and conditions found in the United Kingdom with over 65% of the site already existing in fescues and orchard grasses. The decision to offer this kind of exceptional golf experience will benefit the entire Roanoke area and region as the only true golf destination. Unlike other golf attractions, Ballyhack will focus on the ultimate golf experience from local shuttle service, over night accommodations in the form of clubhouse rooms or on property cottages, offsite hunting and fishing, exercise and fitness and fine dining.

The golf course will occupy most of the open area and will be designed to take advantage of the site. Native grasses will be used to define and separate the golf holes which will be set on the existing terrain with as little land form disturbance as possible. Bunkers and other hazards will be sculpted from the land to create an old world look and feel. Greens and fairways will be expansive and provide unequaled strategy and challenge, while remaining simple and natural.

**Vicinity Map:**

## **BALLYHACK GOLF CLUB**

### **SITE SUMMARY**

#### **Site Data**

The total site area is 368 +/- acres. The original zoning was AR with a Special Use Permit to allow for the golf course component of this project. Since the original rezoning application, the property has been rezoned to PRD.

The site is located within the Mount Pleasant Community Planning area and within the Vinton Magisterial District.

#### **Existing Conditions**

The site consists of 75% open areas and 25% wooded areas. There is one existing residence with associated out buildings on the property that will be removed. The site consists of rolling topography. The site has slopes on the property ranging from 1% to 50+ %. Horseshoe Branch runs through the eastern portion of the property and an unnamed tributary runs through the southwestern side.

Since the original rezoning application, several improvements have been made on the site. The golf course and three cottages currently exist on the site. The clubhouse is completed just to the south of Pitzer Road. Phase 1 of the residential development has been constructed on the North Side of Pitzer Road. Phase 2 of the residential development has been approved on the South Side of Pitzer Road.

#### **Adjacent Properties**

Adjacent properties are zoned AR and are single family residences and undeveloped agricultural land.

#### **Public Services**

No public water or sewer is available to this site at this time. No extension of public water or sewer is planned with this project unless otherwise approved by Roanoke County and/or Western Virginia Water Authority.

Fire and rescue is located in Mount Pleasant approximately 1.25 miles from the site.



## **Traffic**

The traffic volume on Pitzer road according to the 2012 VDOT study is 640 vehicle trips per day.

## **Development Design Guidelines**

### **Intent**

These design guidelines are written with the intent to guide the development of Ballyhack Golf Club. These guidelines are intended to develop the overall character of the community. These guidelines are not meant to cover all site-specific issues or alterations and should be applied as a guide to meet the development goals of the project.

## **Residential Design Guidelines**

### **Subdivision Streets**

All subdivision streets will be either privately or publicly maintained. All roads will be designed and constructed to state standards.

### **Access**

Access to the property will be from Pitzer Road (State Route 617) and Saul Lane as approved by VDOT.

### **Water and Sewer**

Each lot will be served by a private well and septic system unless otherwise approved by Roanoke County and/or Western Virginia Water Authority.

### **Density**

No more than 110 total residential lots will be developed. 42 residential lots have been created on the north side of Pitzer Road. No more than 68 residential lots will be developed on the south side of Pitzer Road.

### **Lot Size/ Regulations**

All residential lots on the north side of Pitzer Road will be a minimum of 1.00 acre. Minimum frontage on these residential lots shall be 90 feet. Setbacks shall be as follows:

Front yard: 30 feet for principal and accessory structures

Side yard: 15 feet for principal and accessory structures

Rear yard: 25 feet for principal structures and 10 feet for accessory structures

All residential lots on the south side of Pitzer Road will be a minimum of 0.70 acres. Minimum frontage on these residential lots shall be 50 feet. Setbacks shall be as follows:

Front yard: 30 feet for principal and accessory structures

Side yard: 15 feet for principal and accessory structures

Rear yard: 25 feet for principal structures and 10 feet for accessory structures

15 feet for principal structures where rear yard adjoins the golf course

### **Storm Water Management**

The storm water management for the residential portion of this development will be designed in accordance with Roanoke County requirements. The storm water management may be incorporated into the overall golf course design if found to be a feasible option during the design phase of the project.

### **Preservation Area / Open Space**

The residential development of this property will be limited to the perimeter areas of the site. The golf course and associated improvement will essentially be open space that will encompass 210 acres +/- of the property. The golf course design will take advantage of the natural terrain and will preserve the majority of the site as open space. The minimum open space provided for the development shall be 50% of the site. The golf course is included in this open space calculation. The majority of wetlands areas will be preserved and these areas will be incorporated into the golf course design.

## **Overnight Lodging/Guest Cottages and Clubhouse Design Guidelines**

### **Clubhouse and Training Facility**

The Overnight Lodging and Clubhouse will be an amenity of the Golf Course and will not be stand alone commercial uses.

The Clubhouse and Training Facility will be similar in style to that proffered with the original Special Use Permit. The materials shall be synthetic wood, wood, brick, and/or stone. The clubhouse will feature a full service restaurant, locker rooms, pro shop and possibly some overnight accommodations.

### **Overnight Lodging/Guest Cottages**

Guest Cottages shall be defined as a building or groups of buildings for temporary residential occupancy or lodging, regardless of ownership, for use by members and guests of the golf course facilities. These buildings may be multi-family but shall not include manufactured homes.

The over night lodging will consist of small guest cottages grouped throughout the golf course. The cottages will vary in size from 2- 4 bedrooms and will be no more than one story tall. The cottages will be designed with a similar rustic traditional architectural style to that of the clubhouse and will be constructed of synthetic wood, wood, brick, and/or stone.

No more than 20 cottages will be constructed with this development. No more than 6 bedrooms will be located in the clubhouse building and no more than 10 bedrooms will be located in the training facility. No more than 60 total bedrooms will be constructed.

### **Parking and Internal Drives**

All internal parking and drive aisles associated with the Golf Course will be in accordance with Roanoke County Design Standards.

The access for the clubhouse will be from Pitzer Road. The access for the cottages will be from a network of internal driveways and cart paths with the exception of one possible entrance off of Pitzer Road. All entrances will be in accordance with VDOT and Roanoke County Standards.

A golf cart/pedestrian crossing will be required on Pitzer Road to access the entire golf course.

**Lighting**

All lighting shall be residential in scale and style (i.e. post mounted lighting) and will not exceed 18' in height. The lighting shall be arranged so it will not cast glare on adjacent properties nor will more than 0.5-foot candles cross any adjacent property line

**Setbacks**

The clubhouse and all cottages will be setback a minimum of 30 feet from all adjoining road right of ways and 50 feet from all adjacent properties.





## **Adjacent Property Owners:**

### **Northern Property Boundary:**

Alfred E & Patsy G Saunders  
3530 Simsmore Ave.  
Tm# 79.04-02-01  
Zoning: AG3  
1.6 AC.

Curtis R Dillon  
0 Rutrough Rd.  
Tm# 80.00-02-02  
Zoning: AR  
32.01 AC.

### **Western Property Boundary:**

Robert W & Peggy S Bradley  
3456 Mt. Pleasant Rd.  
Tm# 79.04-02-42  
Zoning: AR  
2.029 AC.

Cathy E Cummings  
3401 Pitzer Rd.  
Tm# 79.04-02-18  
Zoning: AR  
22.35 AC.

Lisa Ann Cummings  
3403 Pitzer Rd.  
Tm# 79.04-02-12.02  
Zoning: AG3  
5.53 AC.

Gerald W & Patricia M Sink  
0 Pitzer Rd.  
Tm# 79.04-02-12.01  
Zoning: AG3  
2.34 AC.



Gerald W & Patricia M Sink  
3431 Pitzer Rd.  
Tm# 79.04-02-16  
Zoning: AG3  
0.98 AC.

Margaret R Baker et al.  
0 Pitzer Rd.  
Tm# 79.04-02-09  
Zoning: AG3  
25.23 AC.

Gerald W & Patricia M Sink  
0 Pitzer Rd.  
Tm# 79.04-02-13  
Zoning: AG3  
5 AC.

Gerald W & Patricia M Sink  
0 Pitzer Rd.  
Tm# 79.04-02-14  
Zoning: AG3  
1.13 AC.

Tommy L & Lela E Blewett  
3521 Simsmore Ave.  
Tm# 79.04-02-05  
Zoning: AG3  
8.07 AC.

**Southern Property Boundary:**

Betty T Sink  
3550 Jae Valley Rd.  
Tm# 89.00-01-08.04  
Zoning: AR  
26.49 AC.

Gregory A Craighead  
3536 Jae Valley Rd.  
Tm# 89.00-01-08  
Zoning: AR  
13.47 AC.

Gregory A Craighead  
0 Jae Valley Rd.  
Tm# 89.00-01-08.01  
Zoning: AR  
5 AC.

Gerald E & Irene B Tribbett  
3492 Jae Valley Rd.  
Tm# 89.00-01-01  
Zoning: AR  
27.84 AC.

Ronald D & Jennie P Wood  
0 Saul Ln.  
Tm# 90.00-03-01  
Zoning: AG1  
0.7 AC.

Jeffrey Y & Cheryl W Bennett  
3900 Saul Ln.  
Tm# 89.00-01-13  
Zoning: AG3  
13.17 AC.

Larry D & Mary E Wheeler  
3898 Saul Ln.  
Tm# 89.00-01-12  
Zoning: AG3  
0.89 AC.

Archie R Key Jr. & Linda W Carter  
0 Sun Valley Ln.  
Tm# 89.00-01-08.02  
Zoning: AG3  
11.28 AC.

**Eastern Property Boundary:**

Reaves-Diggs-Parham & Associates LLC  
3039 Marys Way Ln.  
Tm# 80.00-07-03  
Zoning: AR  
1.34 AC.

Larks Ridge Estates LLC  
3045 Marys Way Ln.  
Tm# 80.00-07-04  
Zoning: AR  
1.19 AC.

Barry Griffin  
3069 Marys Way Ln.  
Tm# 80.00-07-05  
Zoning: AR  
1.00 AC.

Larks Ridge Estates LLC  
3093 Marys Way Ln.  
Tm# 80.00-07-06  
Zoning: AR  
1.7 AC.

Joseph A & Mary W Keaton  
0 Ivyland Rd.  
Tm# 80.00-02-10  
Zoning: AR  
10.01 AC.

Clay N Leftwich  
0 Ivyland Rd.  
Tm# 80.00-02-12  
Zoning: AR  
3.56 AC.

Clay N Leftwich  
0 Ivyland Rd.  
Tm# 80.00-02-13  
Zoning: AR  
1.78 AC.

Clay N Leftwich  
0 Ivyland Rd.  
Tm# 80.00-02-14  
Zoning: AR  
1.78 AC.

Ronald J Minor  
3299 Ivyland Rd.  
Tm# 80.00-02-15  
Zoning: AR  
3.56 AC.

Carl E & Evelyn L Furrow  
0 Pitzer Rd.  
Tm# 80.00-03-09  
Zoning: AR  
5.29 AC.

Susan D Rodkey  
3908 Pitzer Rd.  
Tm# 80.00-03-79  
Zoning: AR  
3.11 AC.

Dewey M & Thelma J Gillenwater  
3902 Pitzer Rd.  
Tm# 80.00-03-78  
Zoning: AR  
2.43 AC.

Travis R & Maira C Morrison  
3892 Pitzer Rd.  
Tm# 80.00-03-77  
Zoning: AR  
1.32 AC.

Brian M Bower  
3884 Pitzer Rd.  
Tm# 80.00-03-76  
Zoning: AR  
1.29 AC.

X  
3876 Pitzer Rd.  
Tm# 80.00-03-75  
Zoning: AR  
1.39 AC.

Rodney D & Billie Jo L Nipper  
3868 Pitzer Rd.  
Tm# 80.00-03-74  
Zoning: AR  
1.28 AC.

Michael S Stephenson  
3858 Pitzer Rd.  
Tm# 80.00-03-73  
Zoning: AR  
1.55 AC.

John F & Janet Corcoran  
3852 Pitzer Rd.  
Tm# 80.00-03-72  
Zoning: AR  
1.01 AC.

Daryle D & Melissa P Tolley  
3842 Pitzer Rd.  
Tm# 80.00-03-71  
Zoning: AR  
0.9 AC.

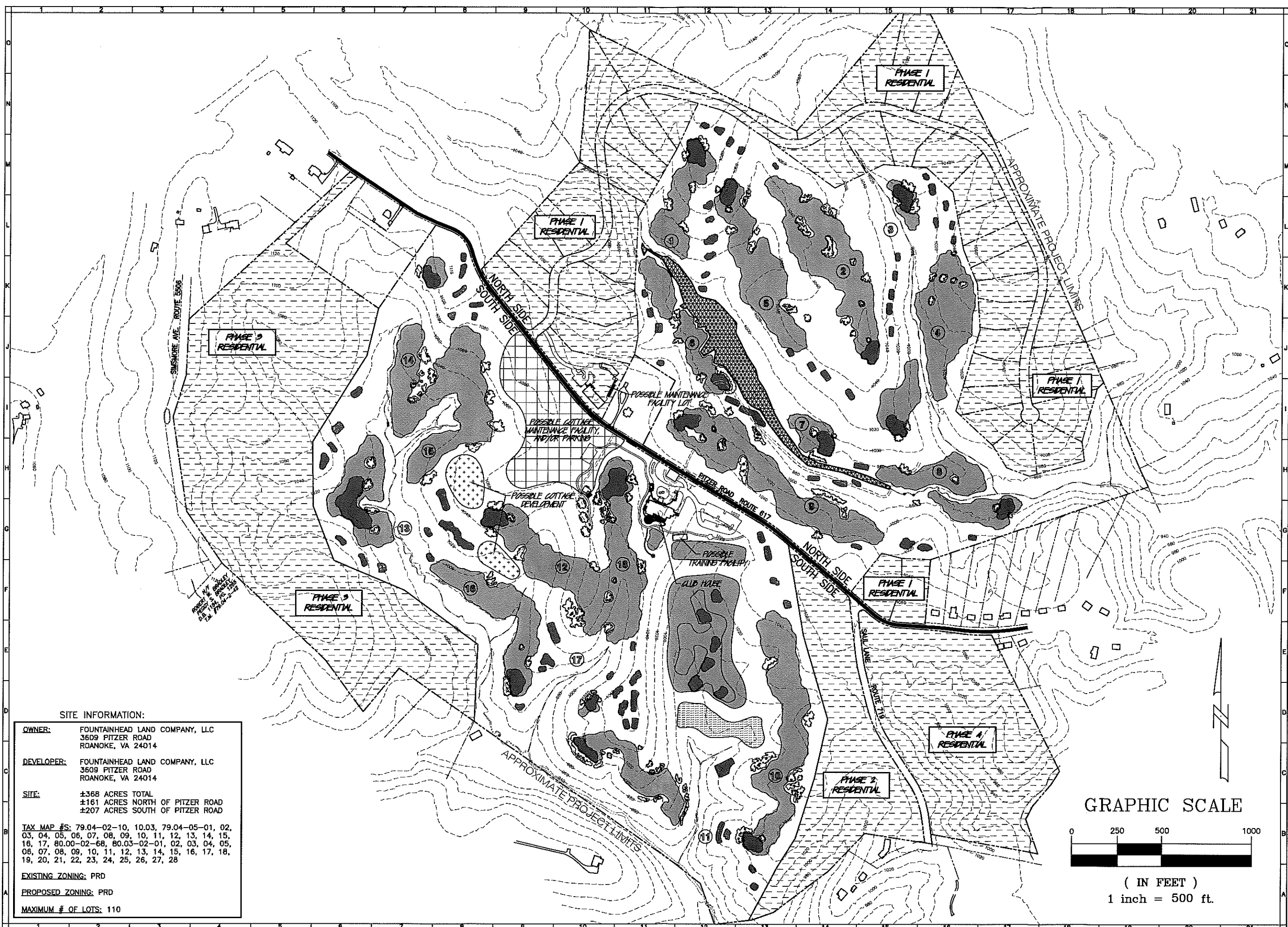
James E Gillenwater  
3877 Pitzer Rd.  
Tm# 80.00-03-70.01  
Zoning: AR  
0.68 AC.

E C Pace III & Mark R Pace  
0 Pitzer Rd.  
Tm# 80.00-03-62  
Zoning: AR  
33.07 AC.

**Interior Property Boundary:**

Johnny D Lambert  
3612 Pitzer Rd.  
Tm# 79.00-01-02  
Zoning: AR  
2.47 AC.





**SITE INFORMATION:**

**OWNER:** FOUNTAINHEAD LAND COMPANY, LLC  
3609 PITZER ROAD  
ROANOKE, VA 24014

**DEVELOPER:** FOUNTAINHEAD LAND COMPANY, LLC  
3609 PITZER ROAD  
ROANOKE, VA 24014

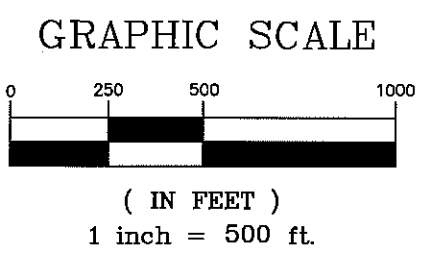
**SITE:** ±368 ACRES TOTAL  
±161 ACRES NORTH OF PITZER ROAD  
±207 ACRES SOUTH OF PITZER ROAD

**TAX MAP #S:** 79.04-02-10, 10.03, 79.04-05-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 80.00-02-68, 80.03-02-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28

**EXISTING ZONING:** PRD

**PROPOSED ZONING:** PRD

**MAXIMUM # OF LOTS:** 110



**Petitioner:** Fountainhead Land Company, LLC  
3609 Pitzer Road  
Roanoke, VA 24014

**Request:** Property was rezoned from ARCS/ARS to PRD with original application. The current request is to amend the previously approved PRD document.

**Property:** TM #: 79.04-02-10 and 10.03; 79.04-05-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, and 17; 80.00-02-68.00; 80.03-02-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, and 28;  
79.04-06-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16;

**Property Owners:** See Below

The following are proffered conditions for the above referenced Zoning Case.

***Proffered Conditions:***

1. The developer hereby proffers substantial compliance with the PRD rezoning document titled “Ballyhack Golf Club”, Prepared by Balzer and Associates, Inc. dated 8-17-05 and last revised 1-21-2015.
2. The developer hereby proffers substantial compliance with the at grade golf cart crossing sketch shown as Exhibit ‘A’ attached to this rezoning document, prepared by Balzer and Associates, Inc. dated 8-14-09 and last revised 1-31-11 . All golf cart crossing improvements shown on Exhibit ‘A’ shall be installed by the developer by March 1, 2011.
3. The developer shall install a golf cart crossing tunnel under Pitzer Road, subject to VDOT approval, within 18 months after one of the following conditions has been met:
  - a. 75 residential lots have been sold; or,
  - b. VDOT’s average annual daily trip counts have reached 3,250 vehicle trips per day as counted at the location of the at-grade golf cart crossing.

Fountainhead Land Company, LLC  
Tax Parcels: Parcels not otherwise listed below

---

Dixon Low



Owner: Parrish Living Trust; Parrish, John M Trs  
Tax Parcel: 079.04-06-13.00-0000

Owner: Transitions Consulting, Inc.  
Tax Parcel: 079.04-06-11.00-0000

Owner: Meggers, Jane R  
Tax Parcel: 079.04-06-06.00-0000

Owner: Danielle, Linda J  
Tax Parcel: 079.04-06-05.00-0000

Owner: Wise, Michael W & Danielle M  
Tax Parcel: 079.04-05-12.00-0000

Owner: C2 Golf, LLC  
Tax Parcel: 079.04-05-10.00-0000

Owner: C2 Golf, LLC  
Tax Parcel: 079.04-05-09.00-0000

Owner: Ashby, Bruce A & Gwen D  
Tax Parcel: 080.03-02-08.00-0000

Owner: Bodley, Steven G  
Tax Parcel: 080.03-02-10.00-0000

Owner: Allison, Clyde H Jr & Pamela F  
Tax Parcel: 080.03-02-11.00-0000

Owner: Davies, Peter V II & Barbara T  
Tax Parcel: 080.03-02-14.00-0000

Owner: Clemens Charles T; Clemens Whitney C  
Tax Parcel: 080.03-02-24.00-0000

Owner: Mann John Walter III R L Trus; Mann John Walter III Co-truste; Sizemore  
Kenneth Co-trustee  
Tax Parcel: 080.03-02-01.00-0000

Owner: Mann John W III; Mann Patricia W  
Tax Parcel: 080.03-02-02.00-0000



## Rezoning Request for Ballyhack Golf Club- Summary of Revisions Proposed Zoning: PRD

### **Purpose of Rezoning Request**

The purpose of this rezoning request is to modify portions of the existing Planning and Design documents for Ballyhack Golf Club formerly referred to as Fountain Head Golf Resort.

### **General**

The name Fountain Head Golf Resort has been changed to Ballyhack Golf Club throughout the Planning and Design Documents and the status of the project (existing conditions) have been updated.

### **Access**

The language that limits access onto Pitzer has been revised to reflect that they will be developed per VDOT standards. Since the property was rezoned the speed limit on Pitzer has been reduced from 55 MPH to 35 MPH. In addition the golf course has been established better defining the development pattern for the property. There is very limited road frontage left for any residential lots to access Pitzer thereby limiting the potential number of access points, and the fact that the speed limit has been reduced to 35 MPH provides for a much safer situation.

### **Housing Regulations**

The language restricting minimum house sizes has been removed.

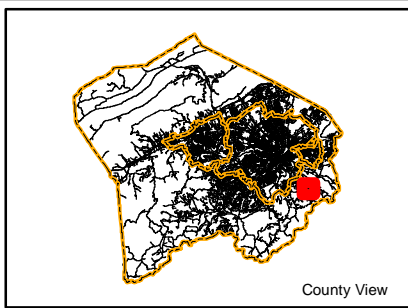
### **Lighting**

The maximum height of lighting has been revised from 16' to 18' to allow for the use of AEP post top lights.

### **Master Plan**

The Master Plan has been revised to reflect the possibility of the maintenance facility and additional parking being constructed on the south side of Pitzer Road in an area originally planned for cottage development.





County View



Neighborhood View

## Ballyhack PRD

Applicant Name: Fountainhead Land Co.

Existing Zoning: PRD

Proposed Zoning: PRD

Proposed Use: Golf Course/Residential

Tax Map Numbers: Multiple

Area: approx. 375 acres

Magisterial District: Vinton



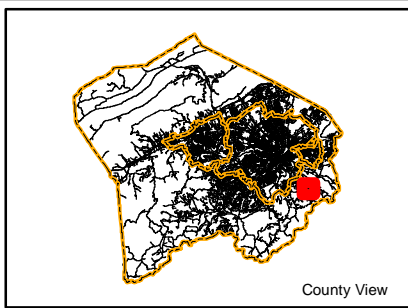
C = Conditions on property  
S = Special Use Permit on property



Scale: 1 inch = 732 feet  
Date: December 31, 2014







## Ballyhack PRD

Applicant Name: Fountainhead Land Co.

Existing Zoning: PRD

Proposed Zoning: PRD

Proposed Use: Golf Course/Residential

Tax Map Numbers: Multiple

Area: approx. 375 acres

Magisterial District: Vinton

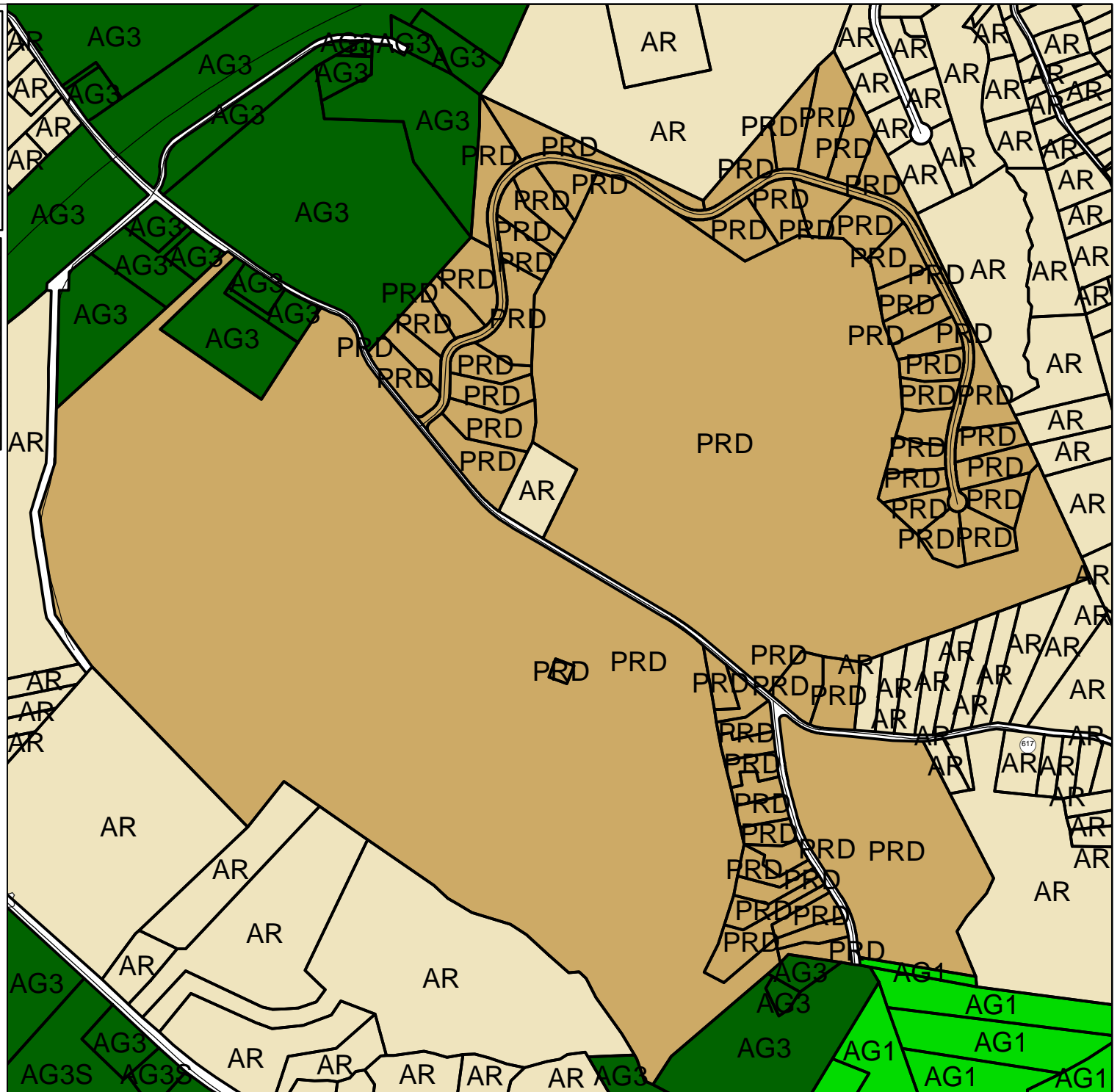
### Zoning Districts

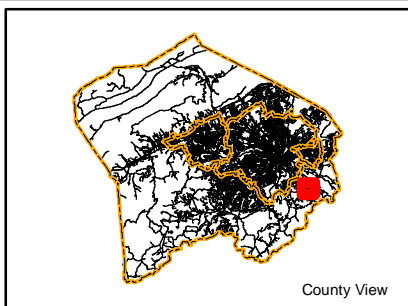
- AG-3 Agricultural/Preserve
- AG-1 Agricultural/Rural Low Density
- AR Agricultural/Residential
- PRD Planned Residential Development

C = Conditions on property  
S = Special Use Permit on property



Scale: 1 inch = 732 feet  
Date: December 31, 2014





County View



Neighborhood View

## Ballyhack PRD

Applicant Name: Fountainhead Land Co.

Existing Zoning: PRD

Proposed Zoning: PRD

Proposed Use: Golf Course/Residential

Tax Map Numbers: Multiple

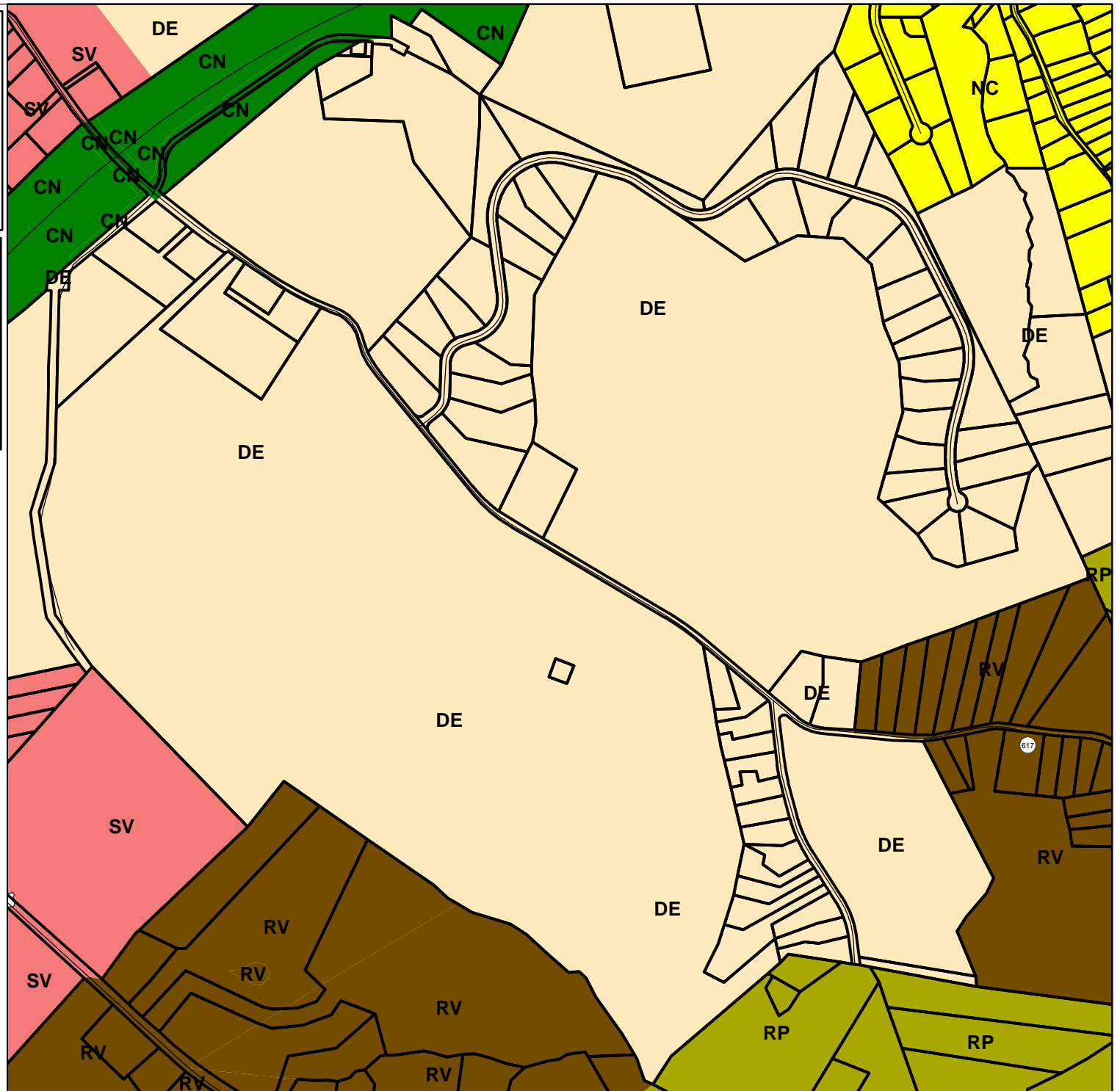
Area: approx. 375 acres

Magisterial District: Vinton

C = Conditions on property  
S = Special Use Permit on property



Scale: 1 inch = 732 feet  
Date: December 31, 2014



## **SEC. 30-47. PRD PLANNED RESIDENTIAL DEVELOPMENT DISTRICT.**

### **Sec. 30-47-1. Purpose.**

- (A) The purpose of this district is to provide for the development of planned residential communities that incorporate a variety of housing options as well as certain limited commercial and office uses designed to serve the inhabitants of the district. This district is intended to allow greater flexibility than is generally possible under conventional zoning district regulations by encouraging ingenuity, imagination and high quality design to create a superior living environment for the residents of the planned community. Incorporation of significant areas of open space is a primary component of these provisions as a means to maintain critical natural and cultural resources. This is balanced with development at densities which compensate, or in certain situations reward with bonuses, for maintenance of these resources. The PRD district is particularly appropriate for parcels which contain a number of constraints to conventional development. In addition to an improved quality of design, the PRD district creates an opportunity to reflect changes in the technology of land development, provide opportunities for new approaches to home ownership, and provide for an efficient use of land which can result in reduced development costs.

### **Sec. 30-47-2. Permitted Uses.**

- (A) The following uses are permitted in the planned residential development district. However, no use shall be permitted except in conformity with the uses specifically included in the final master plan approved pursuant to section 30-47-5. An asterisk (\*) indicates additional, modified or more stringent standards as listed in article IV, use and design standards, for those specific uses.

#### *1. Residential Uses*

Home Occupation, Type I \*

Multi-family Dwelling

Residential Human Care Facility

Single-Family Dwelling, Attached

Single-Family Dwelling, Detached

Townhouse

Two Family Dwelling

#### *2. Civic Uses*

Community Recreation \*

Crisis Center

Day Care Center \*

Educational Facilities, Primary/Secondary \*

Family Day Care Home \*

Park and Ride Facility \*

Public Parks and Recreational Areas \*

Religious Assembly \*

Safety Services \*

Utility Services, Major \*

Utility Services, Minor

3. *Office Uses*

General Office \*

Medical Office \*

4. *Commercial Uses*

Convenience Store \*

Fuel Center \*

Gasoline Station \*

Golf Course \*

Personal Services

Restaurant, General

5. *Miscellaneous Uses*

Amateur Radio Tower \*

- (B) Other use types which are not listed above and which are determined to be appropriate and compatible with the proposed development and surrounding uses may be permitted in the PRD district where they are specifically proposed in the initial preliminary master plan and approved pursuant to Section 30-47-5

(Ord. No. 82493-8, § 2, 8-24-93; Ord. No. 042208-16, § 1, 4-22-08; Ord. No. 052609-22, § 1, 5-26-09; Ord. No. 052411-9, § 1, 5-24-11, Ord. No. 111213-15, § 1, 11-12-13)

**Sec. 30-47-3. Site Development Regulations.**

- (A) Each planned residential development shall be subject to the following site development standards.
1. Reserved.
  2. Maximum gross density: 5 dwelling units per acre, excluding any density bonuses provided for below.
  3. Minimum common open space and/or recreational areas: 15 percent of the gross area of the PRD district.
  4. Criteria for all open space:
    - a. Minimum countable open space: 5,000 contiguous square feet.
    - b. Minimum horizontal dimension: 50 feet, except that areas with a horizontal distance of not less than 20 feet shall be counted as open space provided such areas contain facilities such as, but not limited to, bikeways, exercise trails, tot lots, gazebos, picnic tables, etc.
    - c. Common open space shall not include proposed street rights-of-way, open parking areas, driveways, or sites reserved for schools or places of religious assembly.
    - d. Common open space and/or recreational areas shall be of an appropriate nature and location to serve the residents of the district.
  5. Open space bonus: For each additional 5 percent of open space the maximum gross density specified in (A)2. above shall be increased 2.5 dwelling units per acre. The maximum open space bonus shall be 25 percent.
  6. A 7.5 percent bonus to the gross density may be approved by the administrator when a historic site will be preserved and maintained as an integral part of the development proposal. The historic site must be included in the County Historic Resources Inventory and meet one of the following:



- a. The historic site shall be listed on the Virginia Landmarks Register and the National Register of Historic Places;
  - b. The historic site shall have been determined to be eligible for listing on the registers cited in a. above by the State Review Board for Historic Preservation; or,
  - c. The historic site shall have been officially designated by the board of supervisors as having county or local significance.
7. Maximum area for commercial and/or office uses: 10 percent of the gross area of the PRD. In addition, the following standards shall apply:
  - a. Commercial and office uses shall be expressly designed for the service and convenience of the PRD;
  - b. Commercial and office uses shall be screened and landscaped so as to be compatible with adjoining residences;
  - c. Construction of commercial and office uses shall not begin until 25 percent of the residential units of the total PRD have been completed.
8. Minimum setback requirements shall be specifically established during the review and approval of the Master Plan. The following guidelines shall be used in establishing the building spacing and setbacks:
  - a. Building spacing shall provide privacy within each dwelling unit;
  - b. Building spacing shall ensure that each room has adequate light and air;
  - c. Areas between buildings used as service yards, storage of trash, or other utilitarian purposes should be designed so as to be compatible with adjoining dwellings;
  - d. Building spacing and design shall provide privacy for outdoor activity areas (patios, decks, etc.) associated with individual dwelling units.
9. Streets in the PRD district may be public in accordance with VDOT and county standards or may be private in accordance with the private road standards specified in the Roanoke County Design Handbook. In reviewing the PRD preliminary master plan, the commission may recommend, and the board may approve, one (1) or more private streets within the proposed district.

(Ord. No. 042799-11, § 2, 4-27-99; Ord. No. 052411-9, § 1, 5-24-11)

**Sec. 30-47-4. Relationship to Existing Development Regulations.**

- (A) All zoning regulations shall apply to the development of the PRD, unless modified in the approval of the final master plan.

**Sec. 30-47-5. Application Process.**

- (A) Prior to submitting a formal application for review and approval under these provisions, the applicant and county staff shall meet to discuss the requirements of this section. The purpose of the meeting is to obtain a mutual understanding of the application requirements and process. The applicant is encouraged to submit information on the scope and nature of the proposal to allow staff to become familiar with the proposal in advance of this meeting.
- (B) Any application to rezone land to the PRD designation, shall constitute an amendment to the zoning ordinance pursuant to section 30-14. This information shall be accompanied by graphic and written information, which shall constitute a preliminary master plan. All information submitted shall be of sufficient clarity and scale to clearly and accurately identify the location, nature, and character of the proposed district. At a minimum this information shall include:
  - 1. A legal description and plat showing the site boundaries, and existing street lines, lot lines, and easements.
  - 2. Existing zoning, land use and ownership of each parcel proposed for the district.
  - 3. A general statement of planning objectives to be achieved by the PRD district, including a description of the character of the proposed development, the existing and proposed ownership of the site, the market for which the development is oriented, and objectives towards any specific manmade and natural characteristics located on the site.
  - 4. A description and analysis of existing site conditions, including information on topography, archeological and historic resources, natural water courses, floodplains, unique natural features, tree cover areas, etc.
  - 5. A land use plan designating specific uses for the site, both residential and non-residential uses, and establishing site development regulations, including setback, height, building coverage, lot coverage, and density requirements.
  - 6. A circulation plan, including location of existing and proposed vehicular, pedestrian, bicycle, and other circulation facilities and location and general design of parking and loading facilities. General information on the trip generation, ownership and maintenance and proposed construction standards for these facilities should be included. A Traffic Impact Analysis may be required by the administrator.

7. A public services and utilities plan providing requirements for and provision of all utilities, sewers, and other facilities to serve the site.
  8. An open space plan, including areas proposed for passive and active recreational uses, natural and undisturbed areas, and proposed buffer areas proposed around the perimeter of the site. Information on the specific design and location of these areas and their ownership and maintenance shall be included.
  9. Generalized statements pertaining to architectural and community design guidelines shall be submitted in sufficient detail to provide information on building designs, orientations, styles, lighting plans, etc.
  10. A development schedule indicating the location, extent and sequence of proposed development. Specific information on development of the open space, recreational areas, and non-residential uses shall be included.
- (C) The completed rezoning application and supporting preliminary master plan materials shall be submitted to the planning commission for review and analysis. The commission shall review this information and make a report of its findings to the board of supervisors. The commission shall as part of its review hold a public hearing pursuant to section 15.2-2204 of the Code of Virginia, as amended. The proposed district shall be posted with signs indicating the date and time of the commission public hearing.
- (D) The commission shall make a report of its findings to the board of supervisors within 90 days of the receipt of the materials, unless the applicant requests, or agrees to an extension of this time frame. The commission's report shall recommend approval, approval with modifications, or disapproval of the preliminary master plan. Failure of the commission to make a report of its findings to the board of supervisors within this period shall constitute a commission recommendation of approval.
- (E) If the commission recommends denial of the preliminary master plan, or approval with modification, the applicant shall, if requested, have 60 days to make any modifications. If the applicant desires to make any modifications to the preliminary master plan, the board of supervisor's review and action shall be delayed until such changes are made and submitted for review.
- (F) The board of supervisors shall review the preliminary master plan, and act to approve or deny the plan within 90 days. Approval of the preliminary master plan shall constitute acceptance of the plan's provisions and concepts as proffers pursuant to section 30-15 of this ordinance. The plan approved by the board of supervisors shall constitute the final master plan for the PRD. Once approved by the board of supervisors, the administrator shall authorize the revisions to the official zoning map to indicate the establishment of the PRD district.

(Ord. No. 042799-11, § 1a., 4-27-99; Ord. No. 042208-16, § 1, 4-22-08)

**Sec. 30-47-6. Revisions to Final Master Plan.**

- (A) Major revisions to the final master plan shall be reviewed and approved following the procedures and requirements of Section 30-47-5. Major revisions include, but are not limited to changes such as:
1. Any increase in the density of the development;
  2. Substantial change in circulation or access;
  3. Substantial change in the mixture of dwelling unit types included in the project;
  4. Substantial changes in grading or utility provisions;
  5. Substantial changes in the mixture of land uses or an increase in the amount of land devoted to non-residential purposes;
  6. Reduction in the approved open space, landscaping or buffering;
  7. Substantial change in architectural or site design features of the development;
  8. Any other change that the administrator finds is a major divergence from the approved final master plan.
- (B) All other changes in the final master plan shall be considered minor amendments. The administrator, upon receipt of a written request of the owner, may approve such minor amendments.
1. If the administrator fails to act on a request for a minor amendment to the master plan within 30 calendar days, it shall be considered approved.
  2. A request which is disapproved by the administrator shall be considered a major amendment and shall be subject to the approval process outlined above for such amendments.

(Ord. No. 042208-16, § 1, 4-22-08)

**Sec. 30-47-7. Approval of Preliminary and Final Site Development Plans.**

- (A) Following the approval of the final master plan, the applicant or its authorized agent, shall be required to submit preliminary and final site development plans for approval. Final site development plans for any phase or component of the PRD that involves the construction of structures or facilities, shall be approved prior to the issuance of a building and zoning permit, and the commencement of construction. Standards for preliminary and final site development plans are found in a document entitled Land Development Procedures, available in the department of community development.

- (B) It is the intent of this section that subdivision review under the subdivision regulations be carried out simultaneously with the review of a planned residential development under this section. The plans required under this section shall be submitted in a form which will satisfy the requirements of the subdivision regulations, as determined by the administrator.
- (C) Preliminary and final site development plans submitted for review shall in compliance with the final master plan approved by the board of supervisors. Roanoke County shall review and approve or disapprove any final site development plan within 60 days of its submittal.
- (D) No Planned Residential Development shall be approved and no work shall be authorized on construction until all property included in the Final Master Plan is in common ownership.

(Ord. No. 042799-11, § 1d., 4-27-99)

**Sec. 30-47-8. Failure to Begin Development.**

- (A) Failure of the applicant to submit a preliminary site development plan for at least one portion of the planned residential development within 18 months of the approval of the final master plan, shall constitute an application on the part of applicant to rezone the PRD to the district designations in effect prior to the approval of the final master plan.

**Sec. 30-47-9. Control Following Approval of Final Development Plans.**

- (A) The zoning administrator shall periodically inspect the site and review all building permits issued for the development to ensure that the development schedule is generally complied with. The provision and construction of all of the common open space and public and recreational facilities shown on the final development plan must proceed at the same rate as the construction of dwelling units. If the administrator finds that the development schedule has not been followed, no permits, except for the above mentioned facilities, shall be issued until the developer complies with the development schedule, unless the developer has provided a performance bond or similar instrument to guarantee that such common open space and/or public and recreational facilities will be provided for at a specific date.

**Sec. 30-47-10. Existing Planned Unit Developments.**

- (A) Any planned unit development approved under procedures in force before the effective date of this ordinance shall be designated as Planned Residential Development Districts and shall be governed by requirements or restrictions applicable at the time of their approval.

## STAFF REPORT

Petitioner:	Nexstar Broadcasting, Inc.
Request:	A request to rezone approximately 5.59 acres from I-1, Low Intensity Industrial, District to C-2, High Intensity Commercial, District for communication services (television production and broadcasting)
Location:	5305 & 5310 Valleypark Drive
Magisterial District:	Catawba Magisterial District
Proffered/Suggested Conditions:	None

### EXECUTIVE SUMMARY:

Nexstar Broadcasting, Inc. is requesting to rezone approximately 5.59 acres from I-1, Low Intensity Industrial, District to C-2, High Intensity Commercial, District for communication services (television production and broadcasting) located at 5305 & 5310 Valleypark Drive, Catawba Magisterial District.

The 2005 Comprehensive Plan indicates that the Future Land Use Designation of this parcel is Principal Industrial which is where a variety of industry types are encouraged to locate in existing and planned regional employment centers and are distributed throughout the county, convenient to major residential areas and have suitable highway access. Businesses in industrial parks which are located on large tracts of land that are subdivided, developed and designed according to a unified plan include employment centers and supporting retail services. The types of industries that are encouraged to development in the Principal Industrial Future Land Use Designation are conventional freestanding industrial uses, warehouse, wholesalers, and storage yards.

### 1. APPLICABLE REGULATIONS

Communications services are allowed by right in the C-2 High Intensity Commercial District and are defined as follows:

*"Establishments primarily engaged in the provision of broadcasting and other information relay services accomplished through the use of electronic and telephonic mechanisms. Excluded from this use type are facilities classified as major utility services or broadcasting towers. Typical uses include television studios, telecommunication service centers, telegraph service offices or film and sound recording facilities."*

Communications Services are not permitted on this site which is currently zoned I-1, Low Intensity Industrial District. This use is permitted in C-2, High Intensity Commercial zoning District by right as listed in Section 30-54. C-2 High Intensity Commercial District, in the Roanoke County Zoning Ordinance. (attached to this package)

Roanoke County site development and building permit reviews may be required as applicable.

### 2. ANALYSIS OF EXISTING CONDITIONS

Background – This one-story 38,455 square foot, brick building is located in the Park at Valleypointe at the Northeast area of the Peters Creek Road (Route 117) and Interstate 581 intersection in Roanoke County. The structure was constructed in approximately 1998 and currently houses several general office type uses. There is a business owners association per information from the Hall Associate broker who represents the

Park. The Nexstar.tv website for the Nexstar Broadcasting Group reflects that the group purchased WFXR-TV, a Fox affiliate, and WWCW-TV, a CW affiliate from Grant Communications in December 2014. Currently, the station is located on Colonial Avenue by Towers mall in the City of Roanoke. The applicant's agent stated that per Rick Stolpe at Nexstar, even though there are two antennas/dishes proposed, there will be no possible interference with the Roanoke airport communications from the proposed antennas because, "the dishes/antenna will be receive-only devices and so cannot create any interference."

Topography/Vegetation – This site sits approximately 20 feet above Interstate 581 and the majority of the site is relatively flat with the exception of the area adjacent to Interstate 581 which drops approximately 20 feet to the Interstate ground level. There are mature trees and ground cover along this sloped low area and there are numerous deciduous trees, shrubs, and grass throughout the site. The soil is designated "Loam" and there are no areas of Karst in the vicinity per county mapping information.

Surrounding Neighborhood – This site is located in the southwestern area of the Park at Valleypointe complex on a cul-de-sac and is surrounded by industrially zoned parcels on all sides except the western side which is adjacent to Interstate 581. There are several general office and light industrial businesses in the park including an administrative services business located east of this site. There is a major automotive repair business located outside of the Park, just south of the site. The park complex is traversed by Valleypointe Parkway and the vacant area across Valleypointe Parkway to the northeast of the site is owned by the Roanoke Regional Airport Commission and zoned R-1, Low Density Residential district. The area across I-581 to the west is primarily zoned Commercial and Residential but does include three small industrially zoned parcels located adjacent to and within the commercially zoned lot area. There are General Restaurant (El Rodeo), Light Industrial, and Hotel/Motel uses in this area. The City of Roanoke boundary is south of the park complex along Peters Creek Road and the Roanoke Airport is located in this area.

### 3. ANALYSIS OF PROPOSED DEVELOPMENT

Site Layout/Architecture – There are two buildings located on the site and a large landscaped and curbed parking area containing an estimated 200 total parking spaces (190 regular spaces and 10 handicapped spaces). Per the County Zoning Ordinance, required parking for both the existing General Office use and the proposed Communications Services use is basically the same, but the Communications Services use requires one additional parking space per company vehicle. The larger building is approximately 38,445 square feet and the smaller building is approximately 17,800 square feet. Both buildings are constructed of brick face with a flat rubber roof cover and rooftop air conditioning equipment.

Access/Traffic Circulation – The park complex is primarily accessed from the Interstate 581 Exit to Peters Creek Road and onto Valleypointe Parkway, then to one of site entrances. One site entrance accesses the front of the building and parking from Valleypark Drive, and a second entrance accesses the rear parking lot from South Concourse Drive. There is a second entrance to the park complex from Wood Haven Road located north of the park which enters the park complex by Valleypark Drive.

#### Outside Agency and Department Comments

- Roanoke County Fire & Rescue staff stated that there is no objection to the rezoning nor would the proposed use greatly increase service to the area unless it is determined that this use is considered a change of use.
- General Services staff stated that the property should be served by a dumpster and had no other solid waste comments.
- The Economic Development Department, Building Safety Department, and the County Storm Water Operations Manager reviews offered no objections or concerns for this application.

- The County Zoning Administrator reviewed the plan and had no comments.
- Staff received no comments from the Roanoke County Schools.
- The regional Greenway staff commented that the rezoning doesn't including changing the footprint of the building and has no comments and Planning staff received no comments from the Roanoke County Greenway staff.
- No comments were forwarded to staff by the City of Roanoke at the time of this report.
- The Western Virginia Water Authority (WVWA) reviewed the application package and stated they did not have any comments at this time.
- The Virginia Department of Transportation (VDOT) staff reviewed the package and stated that a land use permit would be required if a new entrance is needed or if there is a change in use of the existing entrance. Also stated is that any proposal to add an additional entrance must be designed to adhere to all VDOT regulations and requirements.

#### 4. CONFORMANCE WITH ROANOKE COUNTY COMMUNITY PLAN

The 2005 Comprehensive Plan indicates that the Future Land Use Designation of this parcel is Principal Industrial which is where:

- A variety of industry types are encouraged to locate in existing and planned regional employment centers
- Distributed throughout the county,
- Convenient to major residential areas and
- (there is) Suitable highway access.

Businesses located in the Principal Industrial Future Land Use designation include industrial parks which are located on large tracts of land that are subdivided, developed and designed according to a unified plan, and includes employment centers and supporting retail services. The types of industries that are encouraged to develop in this Future Land Use Designation are conventional freestanding industrial uses, warehouse, wholesalers, and storage yards. Economic Development goals and objectives include, "attract compatible business and industry to the community." Also noted is that Roanoke County encourages redevelopment efforts.

Other than the information listed above, the majority of the Objectives and Guidelines for the Principal Industrial designation listed in the Comprehensive Plan focus on newly developed sites and for the most part are not applicable to this application.

#### 5. STAFF CONCLUSIONS

Nexstar Broadcasting, Inc. is requesting to rezone approximately 5.59 acres from I-1, Low Intensity Industrial, District to C-2, High Intensity Commercial, District for communication services (television production and broadcasting) located at 5305 & 5310 Valleyspark Drive, Catawba Magisterial District in the Park at Valleypointe at the Northeast area of the Peters Creek Road (Route 117) and Interstate 581 intersection in Roanoke County.

The 2005 Comprehensive Plan indicates that the Future Land Use Designation of this parcel is Principal Industrial which is where a variety of industry types are encouraged to locate in existing and planned regional employment centers and are distributed throughout the county, convenient to major residential areas and suitable highway access.



CASE NUMBER: 5-3/2015  
PREPARED BY: Tammi L. Wood  
HEARING DATES: PC: 3/3/2015 BOS: 3/24/2015  
ATTACHMENTS: Application  
Aerial Map  
Zoning Map  
Future Land Use Map  
Sec. 30-54 - C-2, High Intensity Commercial District Regulations  
Sec. 30-61, I-1, Low Intensity Industrial District Regulations



County of Roanoke  
Community Development  
Planning & Zoning

5204 Bernard Drive  
P O Box 29800  
Roanoke, VA 24018  
(540) 772-2068 FAX (540) 776-7155

For Staff Use Only

Date received: 1/22/15	Received by: JM
Application fee: 1137.00	PC/BZA date: 3/3/15
Placards issued:	BOS date: 3/24/15
Case Number: 5-3/2015	

ALL APPLICANTS

Check type of application filed (check all that apply)

☒ Rezoning ☐ Special Use ☐ Variance ☐ Waiver ☐ Administrative Appeal ☐ Comp Plan (15.2-2232) Review

Applicants name/address w/zip	Phone: 540-983-7561
Nexstar Broadcasting, Inc., c/o Nicole	Work: 540-983-7561
Ingle, 10 S Jefferson St, Ste 1400	Cell #: 540-230-7558
Roanoke, VA 24011	Fax No.: 540-983-7611

Owner's name/address w/zip	Phone #: 540-982-0011
Roanoke Valleypointe, LLC, c/o Bill Poe,	Work: 540-982-0011
Hall Associates, 213 S Jefferson St,	Fax No. #: 540-344-1730
Ste 1007, Roanoke, VA 24011	

Property Location  
5305 and 5310 Valley Park Drive  
Roanoke, VA 24019

Magisterial District: Catawba

Community Planning area: Peters Creek

Tax Map No.: 037.07-01-16.00-0000

Existing Zoning: County - I1/Industrial

Size of parcel(s): Acres: 5.59

Existing Land Use: Office use primarily-see attached.

REZONING, SPECIAL USE PERMIT, WAIVER AND COMP PLAN (15.2-2232) REVIEW APPLICANTS (R/S/W/CP)

Proposed Zoning: C-2 Commercial  
Proposed Land Use: Communications services and office primarily-see attached.

Does the parcel meet the minimum lot area, width, and frontage requirements of the requested district?

Yes ☒ No ☐ IF NO, A VARIANCE IS REQUIRED FIRST.

Does the parcel meet the minimum criteria for the requested Use Type? Yes ☒ No ☐

IF NO, A VARIANCE IS REQUIRED FIRST

If rezoning request, are conditions being proffered with this request? Yes ☐ No ☒

VARIANCE, WAIVER AND ADMINISTRATIVE APPEAL APPLICANTS (V/W/AA)

Variance/Waiver of Section(s) \_\_\_\_\_ of the Roanoke County Zoning Ordinance in order to:

Appeal of Zoning Administrator's decision to \_\_\_\_\_

Appeal of Interpretation of Section(s): \_\_\_\_\_ of the Roanoke County Zoning Ordinance

Appeal of Interpretation of Zoning Map to \_\_\_\_\_

Is the application complete? Please check if enclosed. APPLICATION WILL NOT BE ACCEPTED IF ANY OF THESE ITEMS ARE MISSING OR INCOMPLETE.

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	Consultation
<input checked="" type="checkbox"/>	Application
<input checked="" type="checkbox"/>	Justification

Consultation  
Application  
Justification

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	8 1/2" x 11" concept plan
<input checked="" type="checkbox"/>	Metes and bounds description
<input checked="" type="checkbox"/>	Water and sewer application

8 1/2" x 11" concept plan  
Metes and bounds description  
Water and sewer application

R/S/W/CP V/AA

<input checked="" type="checkbox"/>	Application fee
<input checked="" type="checkbox"/>	Proffers, if applicable
<input checked="" type="checkbox"/>	Adjoining property owners

Application fee  
Proffers, if applicable  
Adjoining property owners

I hereby certify that I am either the owner of the property or the owner's agent or contract purchaser and am acting with the knowledge and consent of the owner.

By: Harvey Cohen Owner's Signature  
Harvey Cohen, President

Nexstar Broadcasting, Inc.

By: Joseph P. McNamara  
Name: JOSEPH P. MCNAMARA  
Title: VP/GM

**JUSTIFICATION FOR REZONING, SPECIAL USE PERMIT WAIVER OR COMP PLAN (15.2-2232) REVIEW REQUESTS**

Applicant Nexstar Broadcasting, Inc. (Owner is Roanoke Valleypointe, LLC.)

The Planning Commission will study rezoning, special use permit waiver or community plan (15.2-2232) review requests to determine the need and justification for the change in terms of public health, safety, and general welfare. Please answer the following questions as thoroughly as possible. Use additional space if necessary.

Please explain how the request furthers the purposes of the Roanoke County Ordinance as well as the purpose found at the beginning of the applicable zoning district classification in the Zoning Ordinance.

See attached.

Please explain how the project conforms to the general guidelines and policies contained in the Roanoke County Community Plan.

See attached.

Please describe the impact(s) of the request on the property itself, the adjoining properties, and the surrounding area, as well as the impacts on public services and facilities, including water/sewer, roads, schools, parks/recreation and fire and rescue.

See attached.



## CONCEPT PLAN CHECKLIST

A concept plan of the proposed project must be submitted with the application. The concept plan shall graphically depict the land use change, development or variance that is to be considered. Further, the plan shall address any potential land use or design issues arising from the request. In such cases involving rezonings, the applicant may proffer conditions to limit the future use and development of the property and by so doing, correct any deficiencies that may not be manageable by County permitting regulations.

The concept plan should not be confused with the site plan or plot plan that is required prior to the issuance of a building permit. Site plan and building permit procedures ensure compliance with State and County development regulations and may require changes to the initial concept plan. Unless limiting conditions are proffered and accepted in a rezoning or imposed on a special use permit or variance, the concept plan may be altered to the extent permitted by the zoning district and other regulations.

A concept plan is required with all rezoning, special use permit, waiver, community plan (15.2-2232) review and variance applications. The plan should be prepared by a professional site planner. The level of detail may vary, depending on the nature of the request. The County Planning Division staff may exempt some of the items or suggest the addition of extra items, but the following are considered minimum:

### ALL APPLICANTS

- ☐ a. Applicant name and name of development
- ☐ b. Date, scale and north arrow
- ☐ c. Lot size in acres or square feet and dimensions
- ☐ d. Location, names of owners and Roanoke County tax map numbers of adjoining properties
- ☐ e. Physical features such as ground cover, natural watercourses, floodplain, etc.
- ☐ f. The zoning and land use of all adjacent properties
- ☐ g. All property lines and easements
- ☐ h. All buildings, existing and proposed, and dimensions, floor area and heights
- ☐ i. Location, widths and names of all existing or platted streets or other public ways within or adjacent to the development
- ☐ j. Dimensions and locations of all driveways, parking spaces and loading spaces

### Additional information required for REZONING and SPECIAL USE PERMIT APPLICANTS

- ☐ k. Existing utilities (water, sewer, storm drains) and connections at the site
- ☐ l. Any driveways, entrances/exits, curb openings and crossovers
- ☐ m. Topography map in a suitable scale and contour intervals
- ☐ n. Approximate street grades and site distances at intersections
- ☐ o. Locations of all adjacent fire hydrants
- ☐ p. Any proffered conditions at the site and how they are addressed
- ☐ q. If project is to be phased, please show phase schedule

I certify that all items required in the checklist above are complete.  
Roanoke Valleypointe, LLC  
By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen  
Signature of applicant  
Name: Harvey Cohen  
Title: President

1-21-2015  
Date

Nexstar Broadcasting, Inc.  
By: Joseph D. McNamara  
Name: JOSEPH D. McNAMARA  
Title: VP/GM

1-22-2015  
Date



### POTENTIAL OF NEED FOR TRAFFIC ANALYSIS AND/OR TRAFFIC IMPACT STUDY

The following is a list of potentially high traffic-generating land uses and road network situations that could elicit a more detailed analysis of the existing and proposed traffic pertinent to your rezoning, subdivision waiver, public street waiver, or special use permit request. If your request involves one of the items on the ensuing list, we recommend that you meet with a County planner, the County traffic engineer, and/or Virginia Department of Transportation staff to discuss the potential additional traffic related information that may need to be submitted with the application in order to expedite your application process.

*(Note this list is not inclusive and the County staff and VDOT reserve the right to request a traffic study at any time, as deemed necessary.)*

#### High Traffic-Generating Land Uses:

- Single-family residential subdivisions, Multi-family residential units, or Apartments with more than 75 dwelling units
- Restaurant (with or without drive-through windows)
- Gas station/Convenience store/Car wash
- Retail shop/Shopping center
- Offices (including: financial institutions, general, medical, etc.)
- Regional public facilities
- Educational/Recreational facilities
- Religious assemblies
- Hotel/Motel
- Golf course
- Hospital/Nursing home/Clinic
- Industrial site/Factory
- Day care center
- Bank
- Non-specific use requests

#### Road Network Situations:

- Development adjacent to/with access onto/within 500-ft of intersection of a roadway classified as an arterial road (e.g., Rte 11, 24, 115, 117, 460, 11/460, 220, 221, 419, etc)
- For new phases or changes to a development where a previously submitted traffic study is more than two (2) years old and/or roadway conditions have changed significantly
- When required to evaluate access issues
- Development with ingress/egress on roads planned or scheduled for expansion, widening, improvements, etc. (i.e. on Long Range Transportation Plan, Six-Yr Road Plan, etc.)
- Development in an area where there is a known existing traffic and/or safety problem
- Development would potentially negatively impact existing/planned traffic signal(s)
- Substantial departure from the Community Plan
- Any site that is expected to generate over one hundred (100) trips during the peak hour of the traffic generator or the peak hour on the adjacent streets, or over seven hundred fifty (750) trips in an average day

**Effective date: April 19, 2005**



## NOTICE TO APPLICANTS FOR REZONING, SUBDIVISION WAIVER, PUBLIC STREET WAIVER, OR SPECIAL USE PERMIT PETITION

### PLANNING COMMISSION APPLICATION ACCEPTANCE PROCEDURE

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver or Special Use Permit petition if new or additional information is presented at the public hearing. If it is the opinion of the majority of the Planning Commissioners present at the scheduled public hearing that sufficient time was not available for planning staff and/or an outside referral agency to adequately evaluate and provide written comments and suggestions on the new or additional information prior to the scheduled public hearing then the Planning Commission may vote to continue the petition. This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the new or additional information and provide written comments and suggestions to be included in a written memorandum by planning staff to the Planning Commission. The Planning Commission shall consult with planning staff to determine if a continuance may be warranted.

### POTENTIAL OF NEED FOR TRAFFIC ANALYSES AND/OR TRAFFIC IMPACT STUDY

The Roanoke County Planning Commission reserves the right to continue a Rezoning, Subdivision Waiver, Public Street Waiver, or Special Use Permit petition if the County Traffic Engineer or staff from the Virginia Department of Transportation requests further traffic analyses and/or a traffic impact study that would be beneficial in making a land use decision (*Note: a list of potential land uses and situations that would necessitate further study is provided as part of this application package*).

This continuance shall allow sufficient time for all necessary reviewing parties to evaluate the required traffic analyses and/or traffic impact study and to provide written comments and/or suggestions to the planning staff and the Planning Commission. If a continuance is warranted, the applicant will be notified of the continuance and the newly scheduled public hearing date.

*Effective date: April 19, 2005*

Roanoke Valleypointe, LLC

**Name of Petition**

By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen  
**Petitioner's Signature**  
 Harvey Cohen, President

1-21-2015

**Date**

Nexstar Broadcasting, Inc.

By: Joseph P. McAnamara  
**Name:** JOSEPH P. McANAMARA  
**Title:** VP/GM



*Narrative submitted in rezoning of tract of land located on Valleypark Drive in the County of Roanoke, Virginia and designated as Parcel ID 037.07-01-16.00-0000.*

Roanoke Valleypointe, LLC is the owner of the property designated as Parcel ID 037.07-01-16.00-0000, which is located at 5305 and 5310 Valleypark Drive in the County of Roanoke, Virginia, as more particularly shown on a survey entitled "ALTA/ACSM LAND TITLE SURVEY OF ROANOKE VALLEYPONTE, LLC BEING TAX PARCEL 37.07-1-16 TRACT 3D-1A1 (P.B. 23, PAGE 81) SITUATED AT THE TERMINUS OF VALLEYPARK DRIVE" dated December 2, 1999, last revised June 27, 2000, prepared by Lumsden Associates, P.C., a copy of which is attached hereto (the "Property"). The Property is improved with two one-story buildings. The larger of the two buildings consists of approximately 38,455 square feet, and the smaller building consists of approximately 17,700 square feet.

The Property is currently zoned I-1 Industrial (Light) District, without conditions. The smaller building (with an address of 5310 Valleypark Drive) is currently used as office space, and the larger building (5305 Valleypark Drive) is currently used as office space with the exception of 14,830 square feet of vacant space, a small warehouse and a small medical laboratory. Roanoke Valleypointe, LLC is in the process of negotiating an agreement with Nexstar Broadcasting, Inc. ("Nexstar") to lease the approximately 14,830 square feet of vacant space in the larger building to be used for television production, broadcasting and other communications services and for office space. Nexstar intends to improve the Property and to add significant equipment to conduct its television transmission. Roanoke Valleypointe, LLC seeks to rezone the entire Property to C-2 Commercial in order to allow Nexstar's proposed use of the Property. The lease with Nexstar is planned to be a long term lease. The lease will be contingent on the rezoning of the Property being approved by the County. Nexstar recently purchased the FOX 21/27 (WFXR) television affiliate and the CW5 (WWCW) affiliate and wishes to expand the affiliates, to add jobs and to relocate the affiliates from their current location in Roanoke City to the Property in the County. Nexstar owns, operates or provides

services to over 100 television stations. Nexstar's portfolio includes affiliates of ABC, NBC, CBS and FOX among others.

The proposed zoning will result in a change of the use of the portion of the Property to be leased to Nexstar to a communications services use. The proposed rezoning will not have an effect on the surrounding area, is consistent with the County's Community Plan, the general purposes of the Zoning Ordinance and the purpose of the applicable district regulations in that it will cause the existing vacant space on the Property to be used and to be improved thereby encouraging economic development, will result in an increase in the real estate tax base of Roanoke County as a result of the improvements, will provide approximately 25 additional jobs for the citizens of the County and will conform to existing commercial uses in the industrial park in which it is located. Existing commercial uses in the industrial park include the DMV customer service center (which is zoned Commercial), Freedom First Credit Union corporate offices, the U.S. Forest Service and American Healthcare offices, among others. Most of the improvements to the Property will be made inside the larger building on the Property, and the only external changes to the Property will be the addition of two antennas, a fence and/or bollards to protect the antennas and a sign.

Roanoke Valleypointe, LLC respectfully request a rezoning of the Property from I-1 Industrial District to C-2 Commercial District, without conditions.

Respectfully submitted,

Roanoke Valleypointe, LLC (owner)  
By Valleypointe Management, Inc., its manager

By: Harvey M. Cohen

Name: Harvey Cohen

Title: President

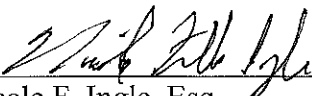
Nexstar Broadcasting, Inc.

By: Joseph P. McNamara

Name: JOSEPH P. MCNAMARA

Title: VP/GM



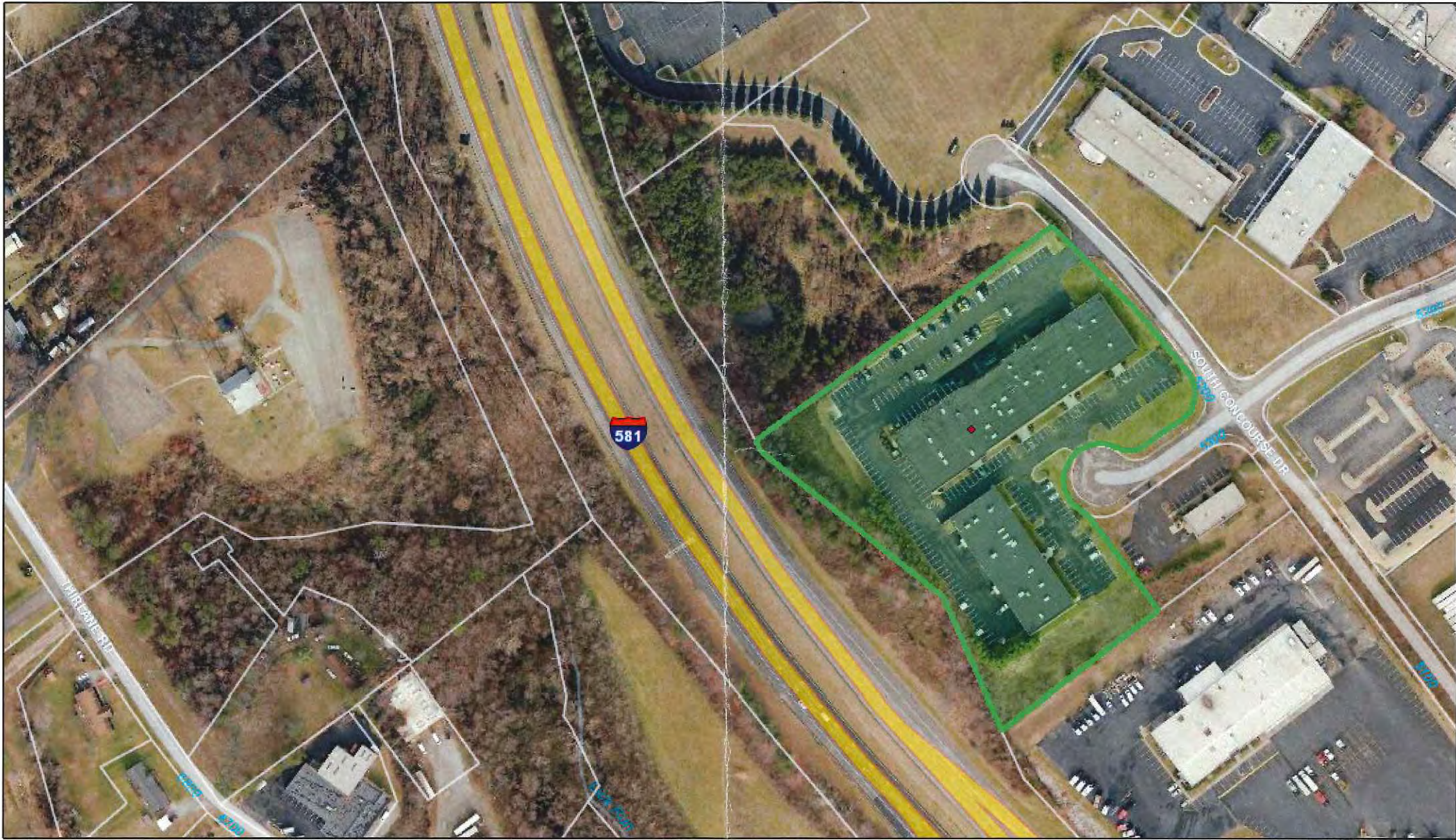


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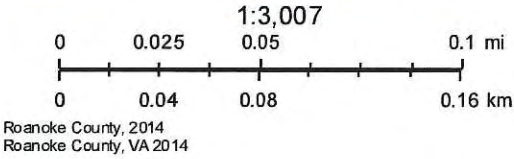
Nicole F. Ingle, Esq.  
Woods Rogers PLC (540) 983-7561  
10 S. Jefferson Street, Suite 1400  
Roanoke, VA 24011



5305-5310 Valleypark Dr.



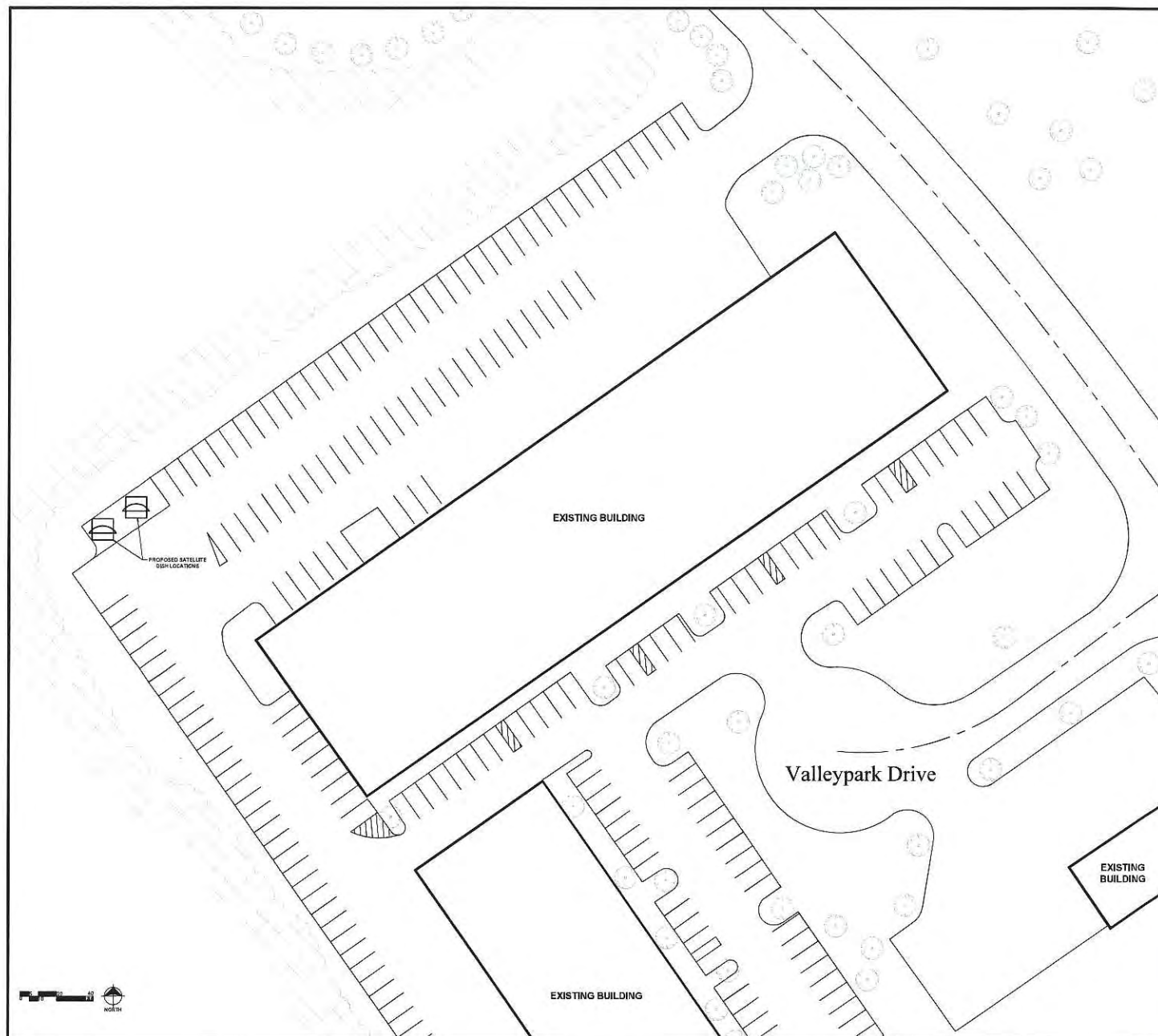
January 16, 2015



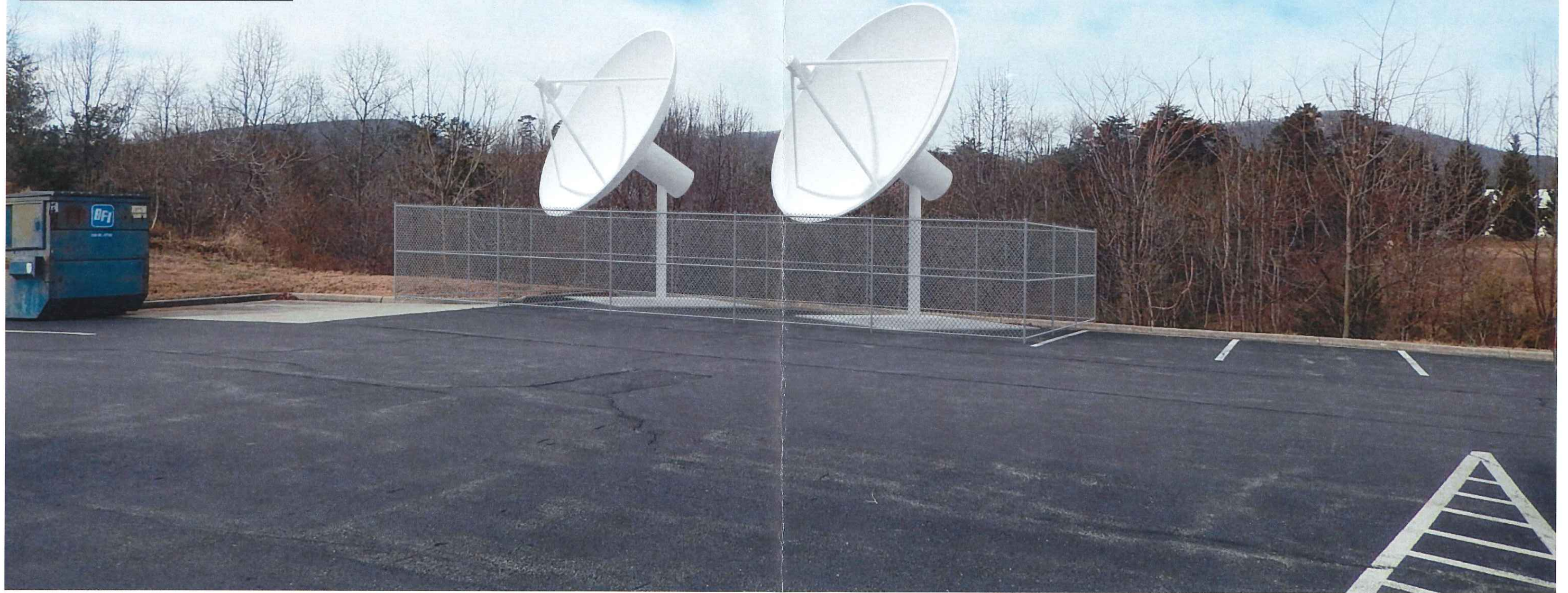
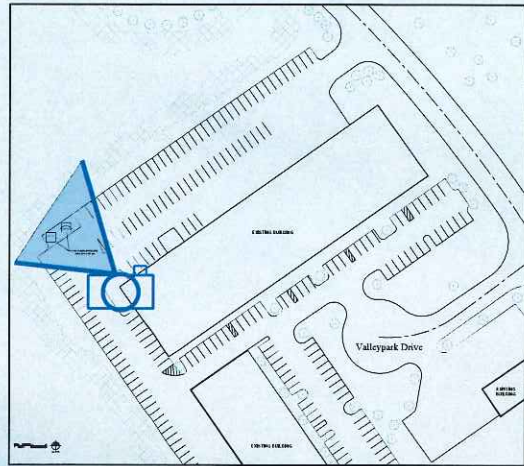














## Foundation Specifications

for 4.5-/4.6-Meter Earth Station Antennas



### 1.0 INTRODUCTION

1.1 This document specifies typical foundation characteristics, designs, requirements and dimensional specifications for the Andrew 4.5-/4.6-Meter Earth Station Antennas.

### 2.0 FOUNDATION LOADING CHARACTERISTICS

2.1 Foundation loads are applied to the foundation pad as shown in Figure 1. Positive applied forces are in the direction of the X, Y, and Z coordinate axes.

2.2 Varying load conditions are dependent upon icing, incident angle of the wind and elevation/azimuth angles of the antenna. Foundation loading for various icing, elevation/azimuth and wind conditions are listed in Table 1. Foundation loading moment for various elevation/azimuth versus wind conditions are listed in Table 2.

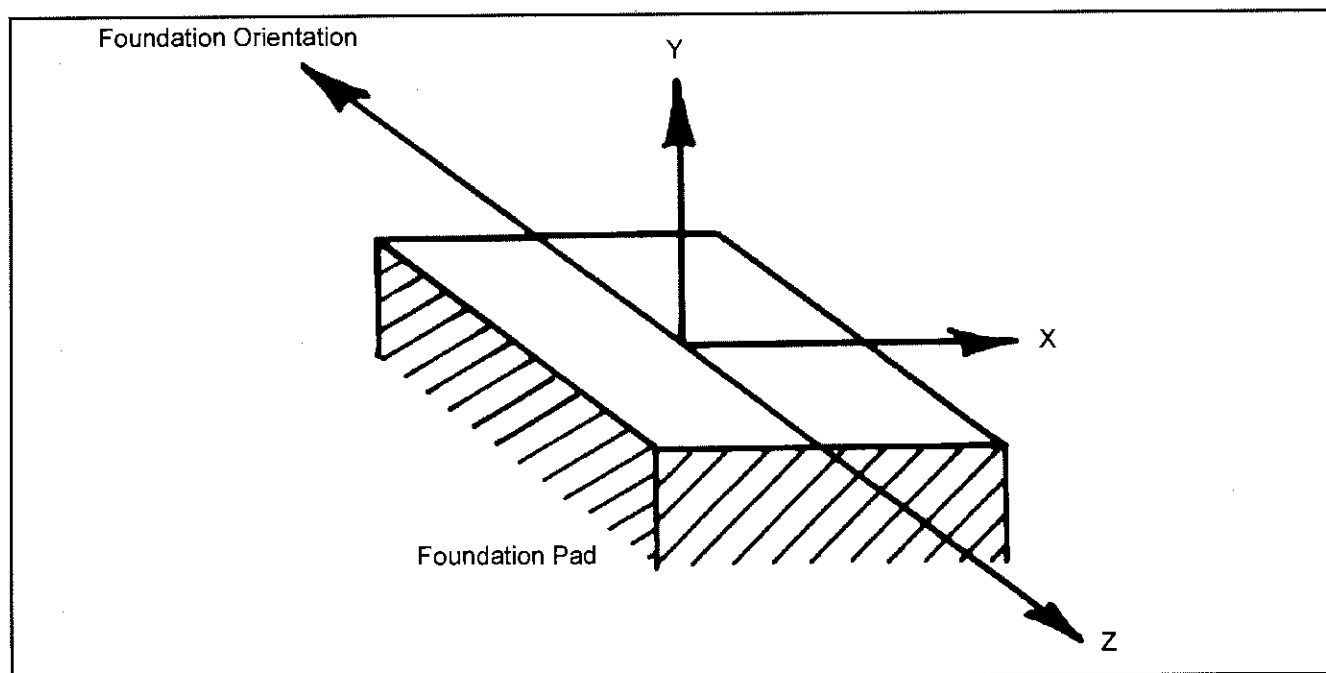
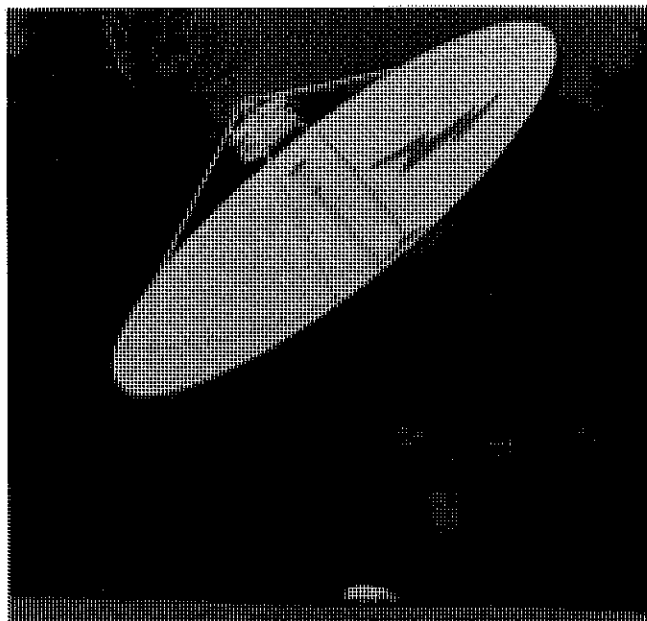


Figure 1



**Andrew Corporation**  
10500 West 153rd Street  
Orland Park, IL U.S.A. 60462

Telephone: 708/349-3300  
FAX (U.S.A.): 1-800/349-5444

Customer Service, 24 hours: U.S.A. • Canada • Mexico: 1-800/255-1479  
U.K.: 0800 250055 • Republic of Ireland: 1 800 535358  
Other Europe: +44 1592 782612

06/03

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EL = 0°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	15°	354	-1841	11220	-9543	-1833	5918	9896	-1847	5305	-11220	-1841	354
125	-15°	-354	-1841	11220	-9896	-1833	5305	9543	-1847	5918	-11220	-1841	-354
125	30°	530	-1841	11210	-9444	-1833	6065	9975	-1847	5147	-11210	-1841	530
125	-30°	-530	-1841	11210	-9975	-1833	5147	9444	-1847	6065	-11210	-1841	-530
125	45°	420	-1841	10870	-9203	-1833	5799	9624	-1847	5071	-10870	-1841	420
125	-45°	-420	-1841	10870	-9624	-1833	5071	9203	-1847	5799	-10870	-1841	-420
125	60°	-707	-1841	10030	-9039	-1833	4402	8332	-1847	5627	-10030	-1841	-707
125	-60°	707	-1841	10030	-8332	-1833	5627	9039	-1847	4402	-10030	-1841	707
125	120°	-2426	-1841	-2634	1069	-1833	-3418	-3494	-1847	783	2634	-1841	-2426
125	-120°	2426	-1841	-2634	3494	-1833	784	-1068	-1847	-3418	2634	-1841	2426
125	135°	-2281	-1841	-4263	2552	-1833	-4106	-4832	-1847	-156	4263	-1841	-2281
125	-135°	2281	-1841	-4263	4832	-1833	-156	-2551	-1847	-4106	4263	-1841	2281
125	150°	-1646	-1841	-5590	4018	-1833	-4220	-5664	-1847	-1369	5590	-1841	-1646
125	-150°	1646	-1841	-5590	5664	-1833	-1369	-4018	-1847	-4220	5590	-1841	1646

EL 30°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	60°	-667	-6646	8804	-7957	-6638	3824	7291	-6653	4979	-8804	-6646	-667
125	-60°	667	-6647	8803	-7291	-6639	4979	7957	-6653	3824	-8803	-6647	667
125	135°	-1862	-845	-4350	2836	-837	-3788	-4698	-851	-562	4350	-845	-1862
125	-135°	1862	-845	-4350	4698	-837	-562	-2836	-821	-3788	4350	-845	1862

EL = 60°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	±60	0	-10162	5627	-4873	-10154	2814	4873	-10168	2814	-5627	-10162	0
125	120°	-69	-762	-3417	2925	-753	-1768	-2993	-767	-1649	3417	-762	-69
125	-120°	69	-761	-3417	2993	-753	-1649	-2925	-767	-1768	3417	-761	69

EL = 90°

## FOUNDATION LOADING FORCES (lbs)

Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	90° Side Wind	-1921	-949	0	-960	-941	-1664	-961	-956	1664	0	-949	1921
	Frontal Wind	0	-949	-1921	-1664	-941	961	1664	-956	961	-1921	-949	0
125	-90° Side Wind	1921	-949	0	961	-941	1664	960	-956	-1664	0	-949	-1921
	Frontal Wind	0	-949	1921	-1664	-941	961	1664	-956	961	1921	-949	0

Table 1

## 3.0 ANCHOR BOLT REQUIREMENTS

3.1 Typical anchor bolt installation configurations and dimensions are shown in Figure 2.

3.2 Andrew type 203666 Anchor Bolt Kit includes anchor bolts, alignment plates and required mounting hardware as shown.

## 4.0 FOUNDATION DESIGNS

4.1 The selected foundation for a particular site is dependent upon local conditions. Soil borings and foundation analysis should be performed by a qualified civil engineer.

EL = 0°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	15°	985333	-48824	-32031	521078	-48829	837559	464633	-48838	-869208	32031	-48824	985333
125	-15°	985333	48824	33451	464299	48838	870256	521412	48829	-836512	-33451	48824	985333
125	30°	984407	-70569	-48407	534694	-70573	828390	449998	-70560	-876526	48407	-70569	984407
125	-30°	984406	70569	49834	449665	70560	877573	535028	70573	-827342	-49834	70569	984406
125	45°	952914	-94738	-38209	510056	-94753	806067	442959	-94748	-844014	38209	-94738	952914
125	-45°	952914	94738	39635	442625	94748	845062	510390	94748	-805019	-39635	94738	952914
125	60°	875109	-89366	66207	380659	-89357	790876	494458	-89367	-724343	-66207	-89366	875109
125	-60°	875109	89366	-64784	494125	89367	725391	380993	89357	-789829	64784	89366	875109
125	120°	-297894	232651	225420	-343669	232629	-145377	45783	232608	371040	-225420	232651	-297894
125	-120°	-297894	-232651	-223996	45542	-232649	-369993	-343335	-232653	146332	223996	-232651	-297894
125	135°	-448780	235374	211990	-407395	235320	-282740	-41220	235357	494973	-211990	235374	-448780
125	-135°	-448780	-235374	-210566	41554	-235357	-493925	-407061	-235344	283695	210566	-235374	-448780
125	150°	-571693	192460	153173	-417945	192441	-418528	-153546	192480	572037	-153173	192460	-571693
125	-150°	-571694	-192460	-151749	153880	-192480	-570989	-417620	-192441	419576	151749	-192460	-571694
EL = 30°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	60°	684612	-76965	13558	330988	-76958	599555	-353588	-76876	-585703	-13558	-76965	684612
125	-60°	684464	76865	-12134	353254	76976	586750	331304	76858	-598477	12134	76865	684464
125	135°	-540579	155381	250334	-487154	155399	-342996	-53892	155381	593665	-250334	155381	-540579
125	-135°	-540593	-155381	248909	-54184	-155394	-592618	-485782	-155399	343134	-248909	-155381	-540593
EL = 60°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	±60°	338700	0	712	169274	-8	293654	169607	8	-292607	-712	0	338721
125	120°	-500059	2889	11291	-259808	2889	-427418	-240624	2882	438930	-11291	2889	-500059
125	-120°	-499985	-2889	-9872	-240958	-2883	-437882	-258936	-2886	428429	9872	-2889	-499985
EL = 90°													
FOUNDATION LOADING MOMENT (in-lbs)													
Wind Speed (mph)	Angle (α)	AZ = 0°			AZ = +60°			AZ = -60°			AZ = 90°		
		x	y	z	x	y	z	x	y	z	x	y	z
125	90° Side Wind	2273	-240	317030	-272957	-226	154809	275358	-226	156939	317030	-240	-2273
	Frontal Wind	318653	0	770	159217	-9	281972	159598	9	-275292	770	0	-318653
125	-90° Side Wind	2304	240	-315610	275024	226	-150267	-272623	226	-159393	-315610	240	-2304
	Frontal Wind	318653	0	712	159217	-9	281964	159598	9	-275292	712	0	-318653

Table 2

4.2 A typical slab type foundation is shown in Figure 2. A copy of this design on a D-size (22" x 33") sheet is available from Andrew on request. Refer to drawing number 240001.

## 5.0 FOUNDATION ORIENTATION

5.1 Proper foundation orientation is required to obtain the

desired orbital arc coverage from a particular site location. The required azimuth and elevation angles of the antenna, relative to the mount must be determined to establish the appropriate foundation orientation. A specific foundation orientation requirement may be requested with the antenna as part of the installation package.



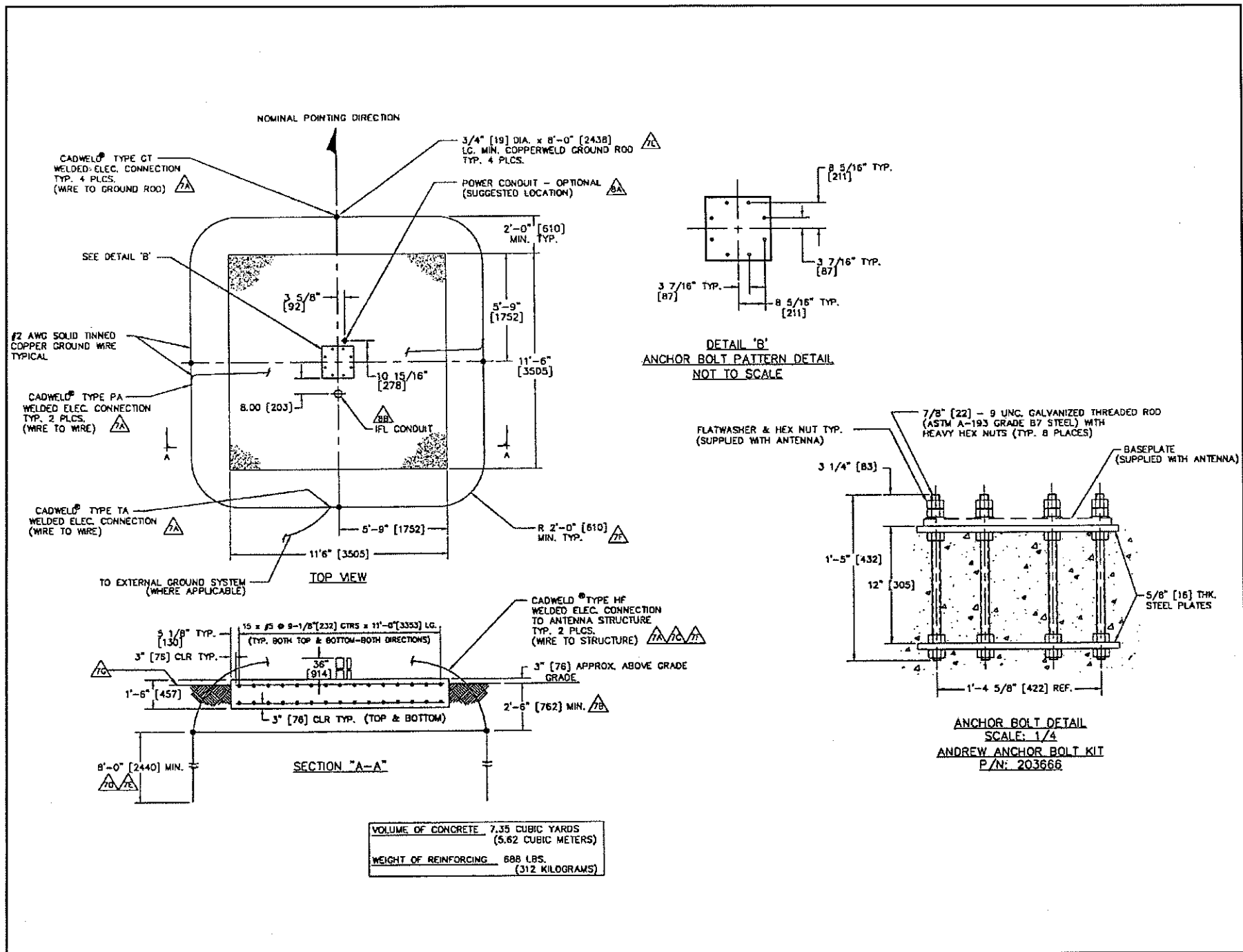


Figure 2

## General Notes

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1. Remove all burrs and sharp edges.
2. Dimensions apply before plating.
3. Interpret drawing per ANSI Y14.5M-1982.
4. Dimensions are shown in feet and inches. Dimensions in brackets [ ] are in millimeters.
5. A tolerance of  $\pm 1/8"$  [3] applies to all anchor bolt layout dimensions.

### 6. Foundation Notes:

A) This foundation is a typical design only. Certification of its suitability for a particular installation by a professional engineer is required prior to its use for actual fabrication.

B) Contractor shall field verify all dimensions locating existing construction before fabrication of new construction begins.

C) Concrete and related work shall be mixed, placed and cured in accordance with "Building Code Requirements for Reinforced Concrete" ACI 318-89 (Rev. 88) and "Specifications for Structural Concrete" ACI 301-84 (Rev. 88) publication SP-15 (88).

D) Concrete for foundations shall develop a compressive strength of at least 3000 psi [211 kgf/cm<sup>2</sup>] in 28 days with a maximum slump of 3" [76] at time of placing.

E) Reinforcing bars shall conform to ASTM A 615 [S1] grade 60 deformed type  $F_y = 60000$  psi [4219 kgf/cm<sup>2</sup>].

F) Unless otherwise noted, concrete cover of reinforcing bars shall conform to minimum requirements of ACI 318-89 (Rev. 88).

G) Fabrication of reinforcing steel shall be in accordance with "Manual of Standard Practice for Detailing Reinforcing Concrete Structures" ACI 315-80 (Rev. 86).

H) Provide  $3/4" \times 45^\circ$  [19 x 45°] chamfer on all exposed concrete edges.

J) Foundations have been designed to rest on undisturbed soil (per EIA-411-A and RS-222-D) with a minimum allowable net vertical bearing capacity of 2000 psf [9770 kgf/m<sup>2</sup>]. If undesirable soil conditions are encountered, the engineer shall be notified.

K) Backfills shall be suitable excavated material or other suitable material compacted in 6" lifts to 90% of maximum density as determined by ASTM D1557.

L) If this foundation is to be located in an area where annual frost penetration depth exceeds 15" [381], the local building code specifying a minimum required foundation depth should be consulted.

### 7. Grounding Electrode System Notes:

The grounding system shown represents the minimum requirements to achieve satisfactory grounding. Actual site conditions and soil resistivity levels will determine final grounding system design to comply with the following:

A) All ground ring, ground rod and antenna structure connections to be EIRCO® products, Inc. Calweld® exothermic type welded electrical connections or equivalent.

B) Ground rods shall be driven to a depth below permanent moisture level (minimum depth shown) as dictated by geographical location.

C) The antenna structure shall be connected to a grounding electrode system consisting of a number of interconnected ground rods. The system shall meet the requirements of the Underwriters' Laboratories Publication No. UL96A for Lightning protection.

D) The grounding electrode system to earth resistance shall not exceed 10 Ohms, measured with a Biddle 3 terminal device or equivalent. The grounded conductor (neutral) supplied to all ac equipment on the antenna structure should be disconnected before taking measurement.

E) Actual site conditions may require longer ground rods, additional ground rods and/or land fill additives to reduce soil resistivity levels.

F) Avoid sharp bends when routing grounding wire. Grounding wires to antenna structure to be run as short and straight as possible.

G) Final grade directly above grounding electrode system to be water permeable.

### 8. Power/IFL Conduit Notes:

A) Electrical power - Drawing depicts suggested location for electrical power conduit to antenna. Size, type and depth to bury conduit to be determined by customer in compliance with local codes. Direction to route conduit to be determined by the relative location of communications building/shelter. Power conduit to extend 6" (minimum) above surface of foundation slab. Open ends of conduit to be sealed to prevent moisture and foreign particle contamination.

Customer to provide main load center assembly and over-current protection devices for electrical equipment. Mounting location of load center to be determined by customer in accordance with local codes.

B) For routing IFL cables, 4" size conduit recommended. Type and depth to bury conduit to be determined by customer, in compliance with local codes. Location of conduit on foundation and direction to route conduit to be determined by location of communications building/shelter. Conduit to extend 36" (minimum) above surface of foundation slab. All bends to be large radius, maximum of two bends per run. Open ends of conduit to be sealed to prevent moisture and/or foreign particle contamination.

## 6.0 ANTENNA GEOMETRY

6.1 Figure 3 illustrates basic dimensional characteristics and azimuth adjustment range capabilities of the 4.5-meter motorizable antenna. Figure 4 illustrates the corresponding characteristics and capabilities of the 4.6-meter antenna.

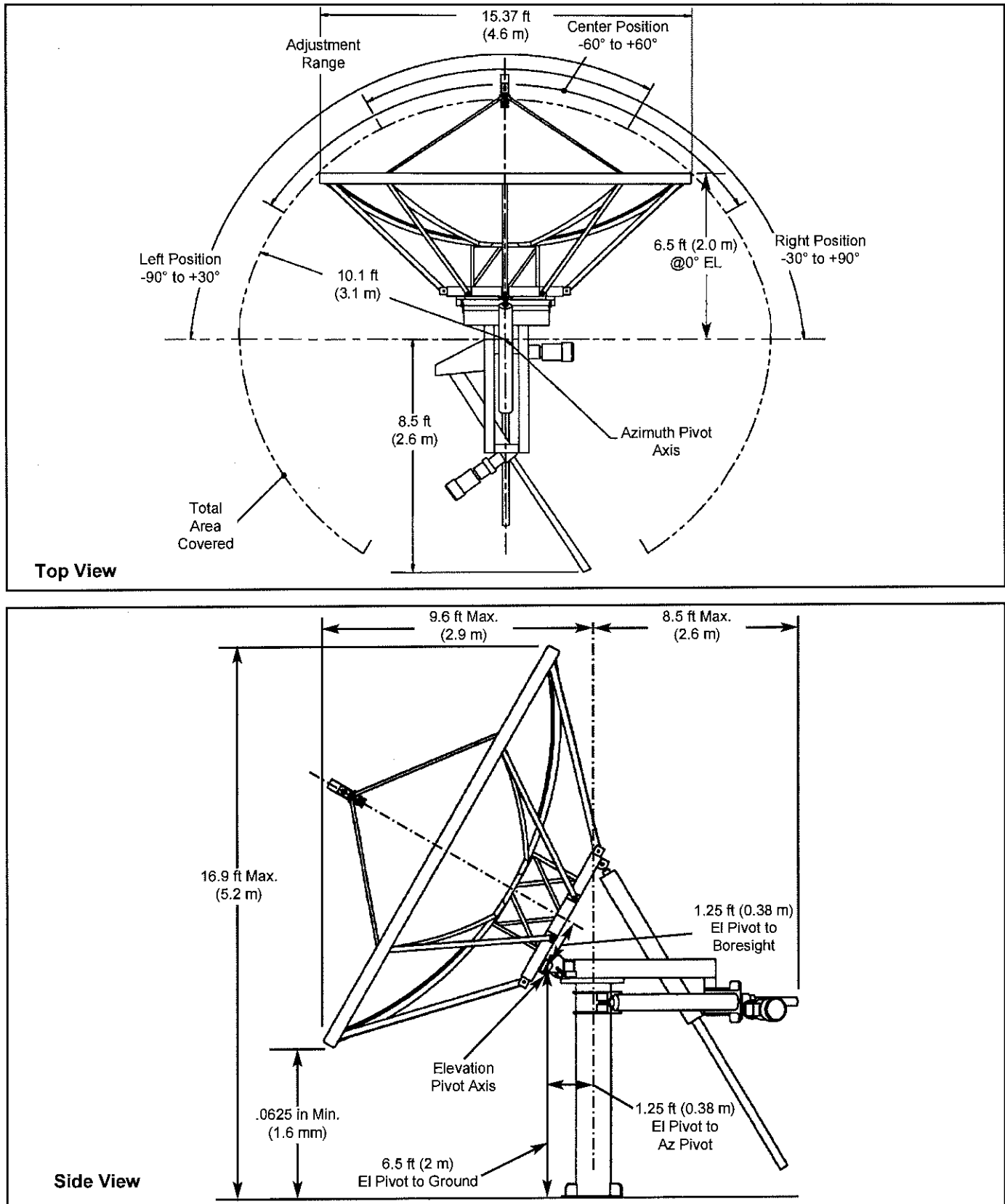


Figure 3 - 4.5-Meter Earth Station Antenna With Motorizable Mount

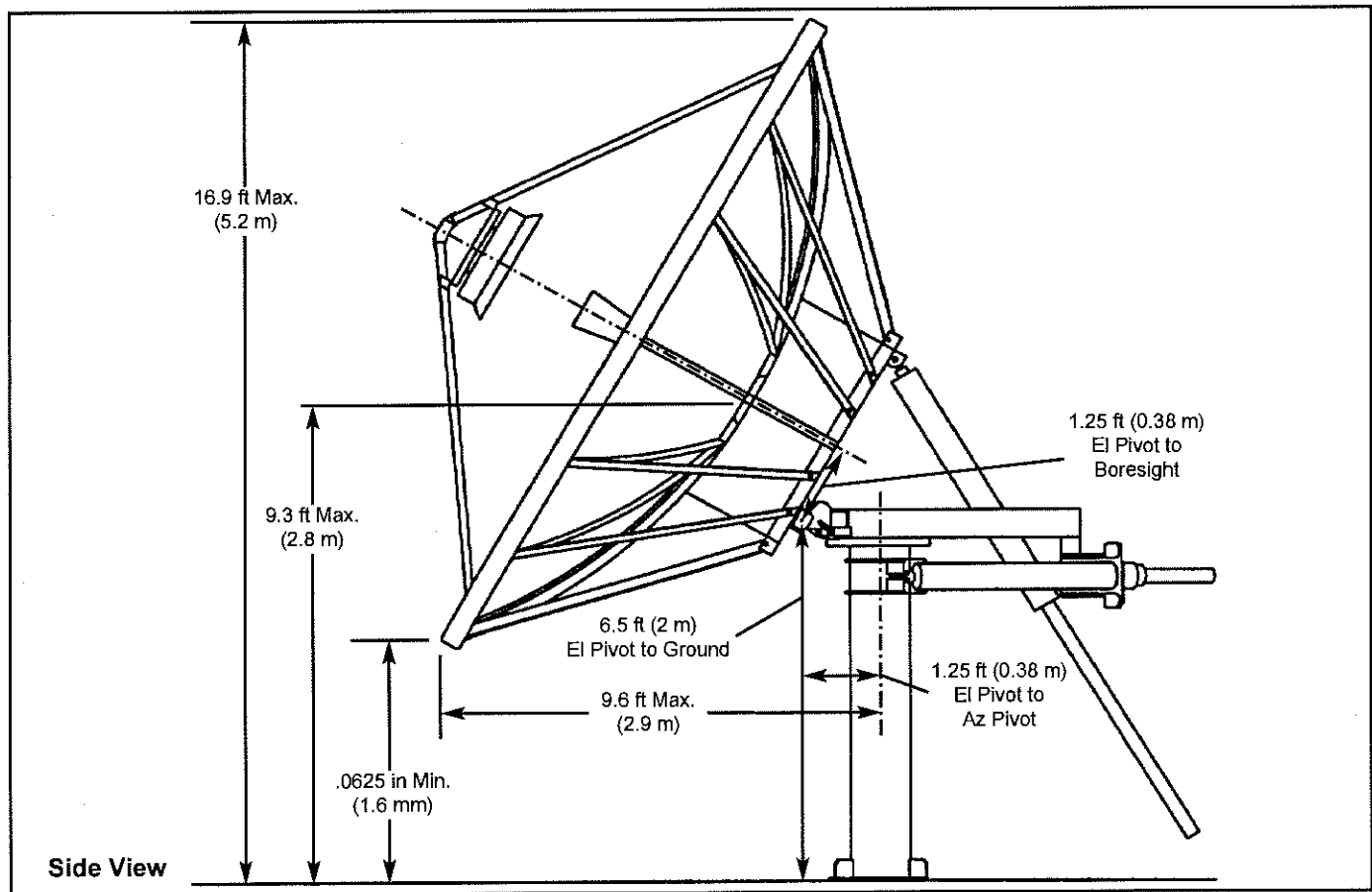
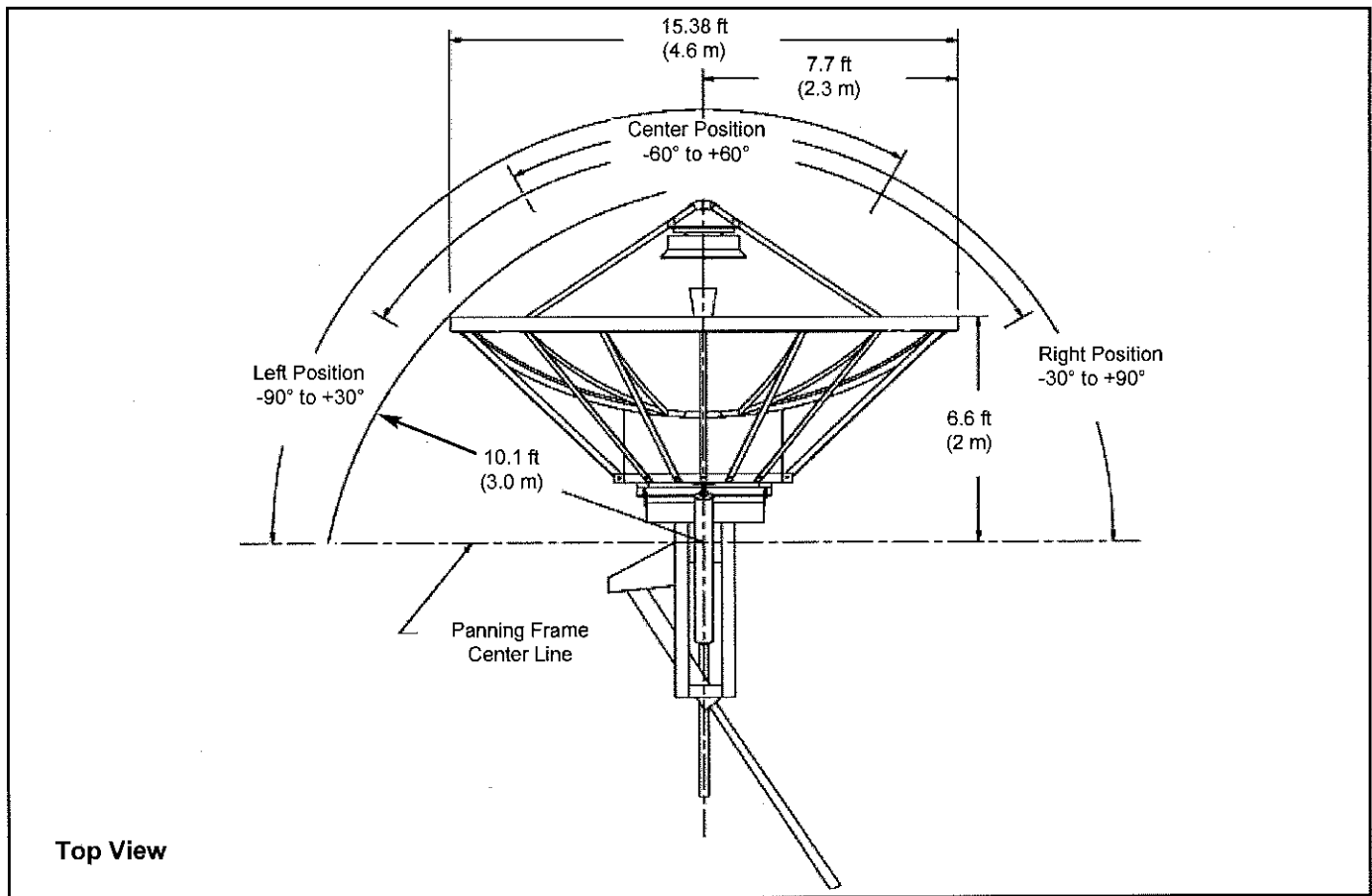
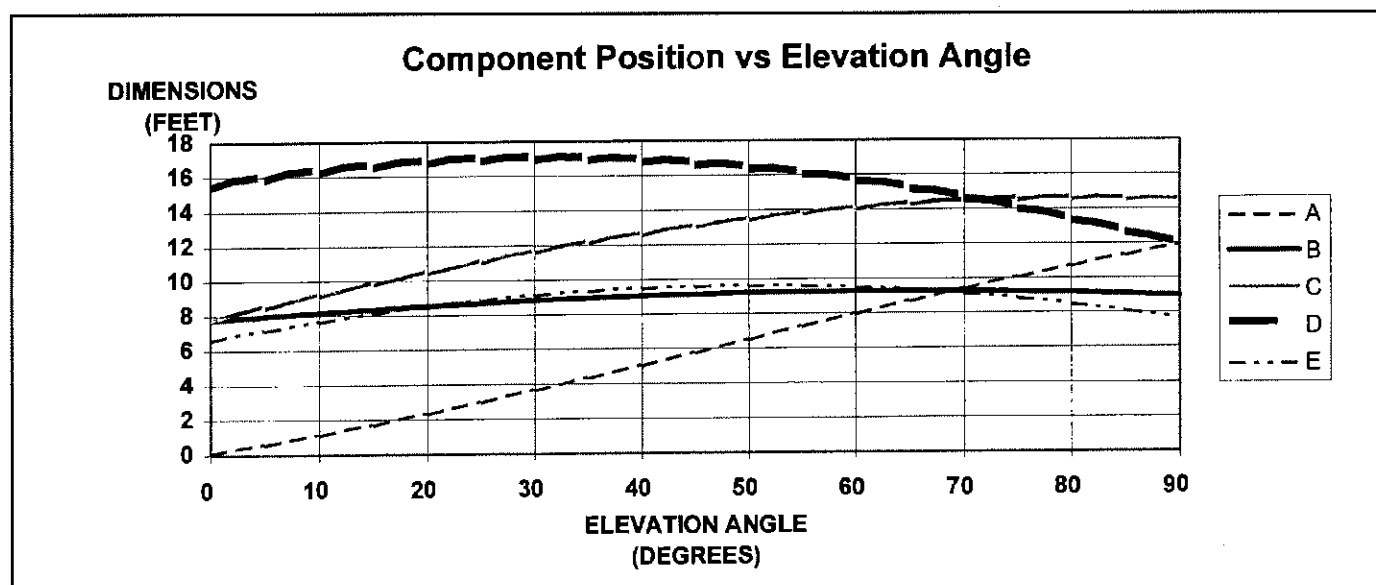
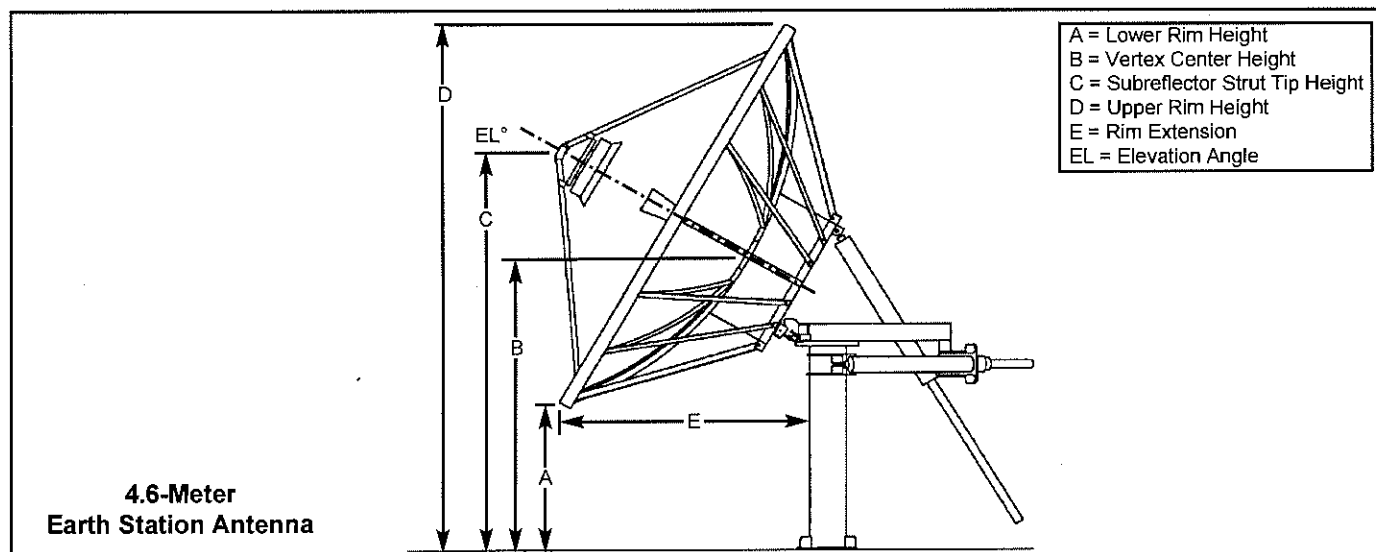
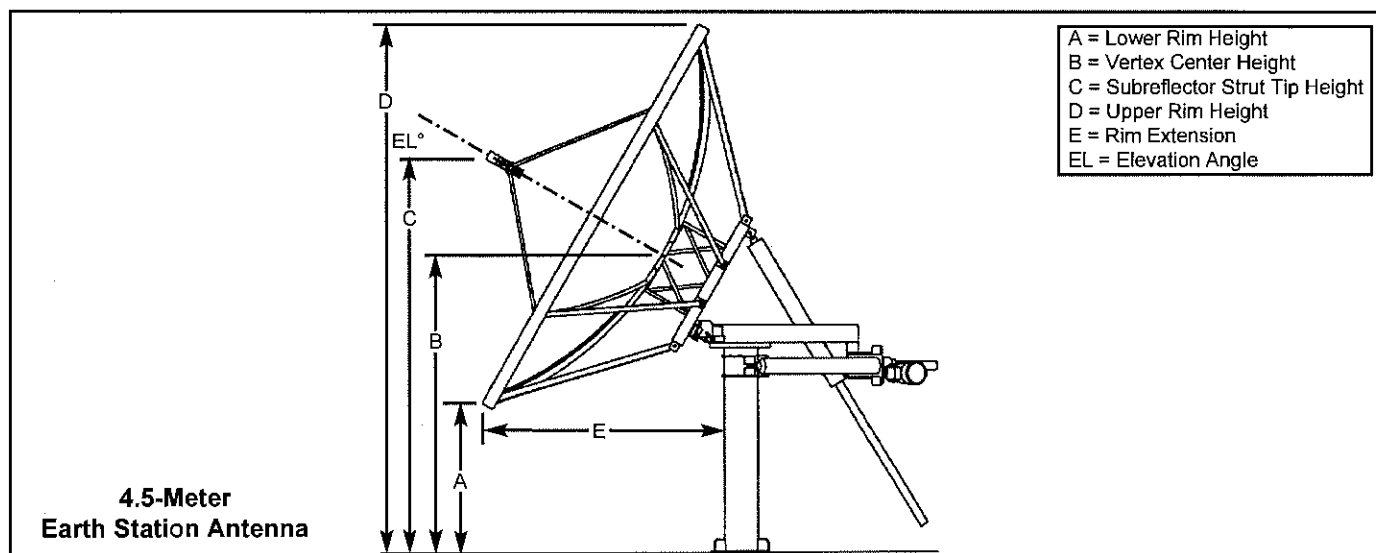
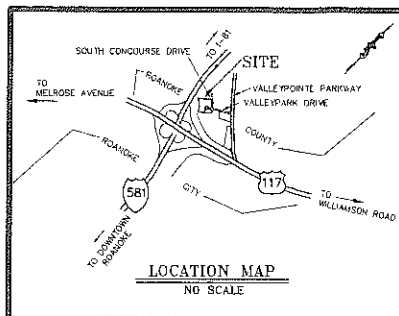


Figure 4 - 4.6-Meter Earth Station Antenna With Motorizable Mount

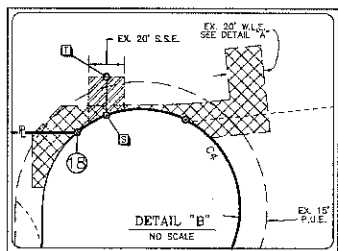
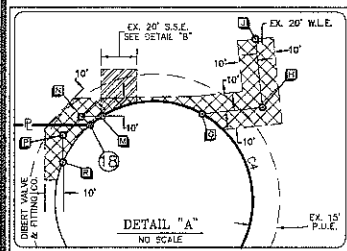
Figure 5 illustrates varying dimensions from ground reference of selected antenna points as the elevation angle fluctuates from 0° to 90°.





TAX PARCEL  
37.07-1-1C  
TRUCK ENTERPRISES, INC.  
D.B. 1459 Pg. 1302

ALTA/ACSM LAND TITLE SURVEY  
SHOWING PROPERTY (5.597 Ac.)  
OF  
**ROANOKE VALLEYPONTE, LLC**  
BEING  
TAX PARCEL 37.07-1-16  
TRACT 3D-1A1  
(P.B. 23, PAGE 81)  
SITUATED AT THE TERMINUS OF  
VALLEYPARK DRIVE  
HOLLINS MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA  
SCALE: 1" = 30' DATE: 2 DECEMBER 1999  
REVISED DATE: 27 JUNE 2000

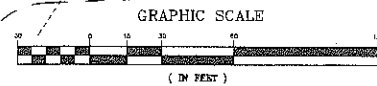


CENTERLINE CHART (DETAIL "A")  
NEW 20' WATERLINE EASEMENT

LINE	DIRECTION	DISTANCE
11-B-S	N 40°10'57" W	83.33 (Chd.)
11-B	N 26°17'14" W	33.89
11-A	S 45°12'46" W	38.00
11-M	N 20°42'24" W	8.33 (Chd.)
11-P	S 39°42'50" E	11.00
11-Q	S 60°00'00" E	14.50
11-R	N 85°57'27" E	14.87
11-S	N 80°54'11" W	24.42

CENTERLINE CHART (DETAIL "B")  
SANTARY SEWER EASEMENT

LINE	DIRECTION	DISTANCE
11-B-S	N 60°16'24" W	16.81 (Chd.)
11-B	S 45°12'46" W	38.00



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	Δ DELTA
C1	1407.40'	230.10'	115.31'	228.85'	S 41°56'00" E	08°22'03"
C2	50.00'	80.84'	52.46'	72.39'	S 09°37'31" W	92°45'00"
C3	25.00'	32.95'	19.36'	30.62'	N 86°44'20" W	75°31'17"
C4	50.00'	197.88'	236.93'	107.15'	S 27°57'10" W	206°08'16"

CENTERLINE CHART  
EX. 20' WATERLINE EASEMENT

LINE	DIRECTION	DISTANCE
11-A	S 45°12'46" W	84.23 (Chd.)
11-B	S 60°00'00" E	28.14
11-C	S 45°12'46" W	38.00
11-D	S 45°12'46" W	132.74
11-E	N 27°18'30" W	108.47
11-F	N 27°18'30" W	19.46
11-G	S 50°00'00" E	10.00

TAX PARCEL  
37.07-1-17  
VALLEYPONTE PROPERTY OWNERS  
ASSOCIATION, INC.  
INSTRUMENT NO. 0007722  
TRACT 4A-1A (P.B. 23 Pg. 81)

TAX PARCEL  
37.07-1-15  
OPTICAL CABLE CORP.  
D.B. 1521 Pg. 994  
TRACT 3E-1A (P.B. 19 Pg. 40)

LEGEND

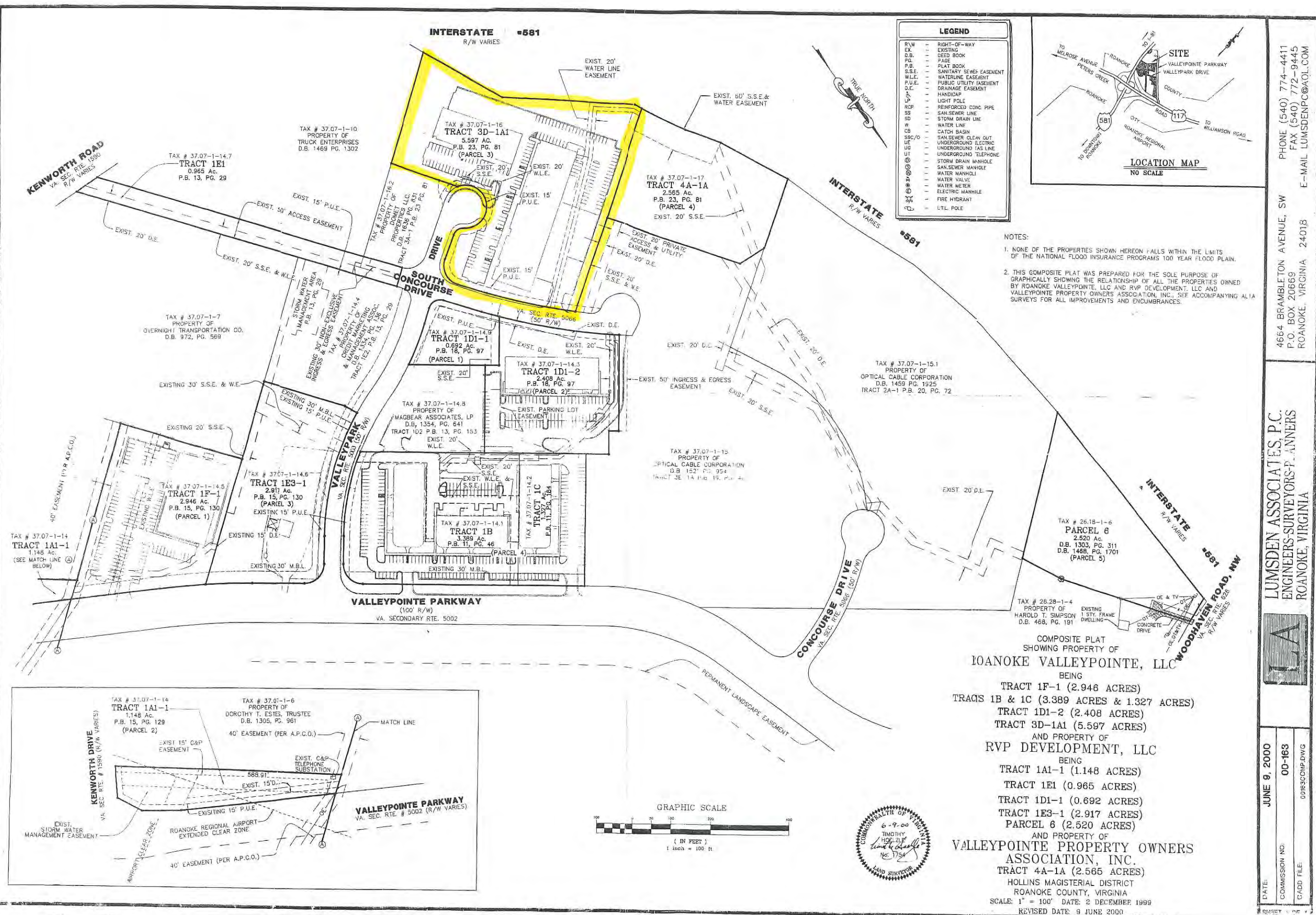
R/W	RIGHT-OF-WAY
EX	EXISTING
D.B.	DEED BOOK
P.B.	PAGE
P.B.	PLAT BOOK
S.S.E.	SANTARY SEWER EASEMENT
W.L.E.	WATERLINE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
HANDICAP	HANDICAP
LP	LIGHT POLE
RCP	REINFORCED CONC. PIPE
SS	SAN. SEWER LINE
SD	STORM DRAIN LINE
W	WATER LINE
CB	CATCH BASIN
SSC/O	SAN. SEWER CLEAN OUT
UE	UNDERGROUND ELECTRIC
UG	UNDERGROUND GAS LINE
UT	UNDERGROUND TELEPHONE
STORM	STORM DRAIN MANHOLE
SEWER	SEWER MANHOLE
WATER	WATER MANHOLE
WATER	WATER VALVE
WATER	WATER METER
ELECTRIC	ELECTRIC MANHOLE
FIRE	FIRE HYDRANT

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA

DATE: JUNE 27, 2000  
COMMISSION NO. 00-163  
CADD FILE: 00163-3D-ALDWG  
SHEET 2 OF 2

4664 BRAMBLETON AVENUE, SW  
P.O. BOX 20669  
ROANOKE, VIRGINIA 24018  
PHONE (540) 774-4411  
FAX (540) 772-9445  
E-MAIL LUMSDENPC@AOL.COM







**LOCATION, NAMES OF OWNERS AND ROANOKE COUNTY TAX MAP NUMBERS  
OF ADJOINING PROPERTIES TO 5305 VALLEYPARK DRIVE.**

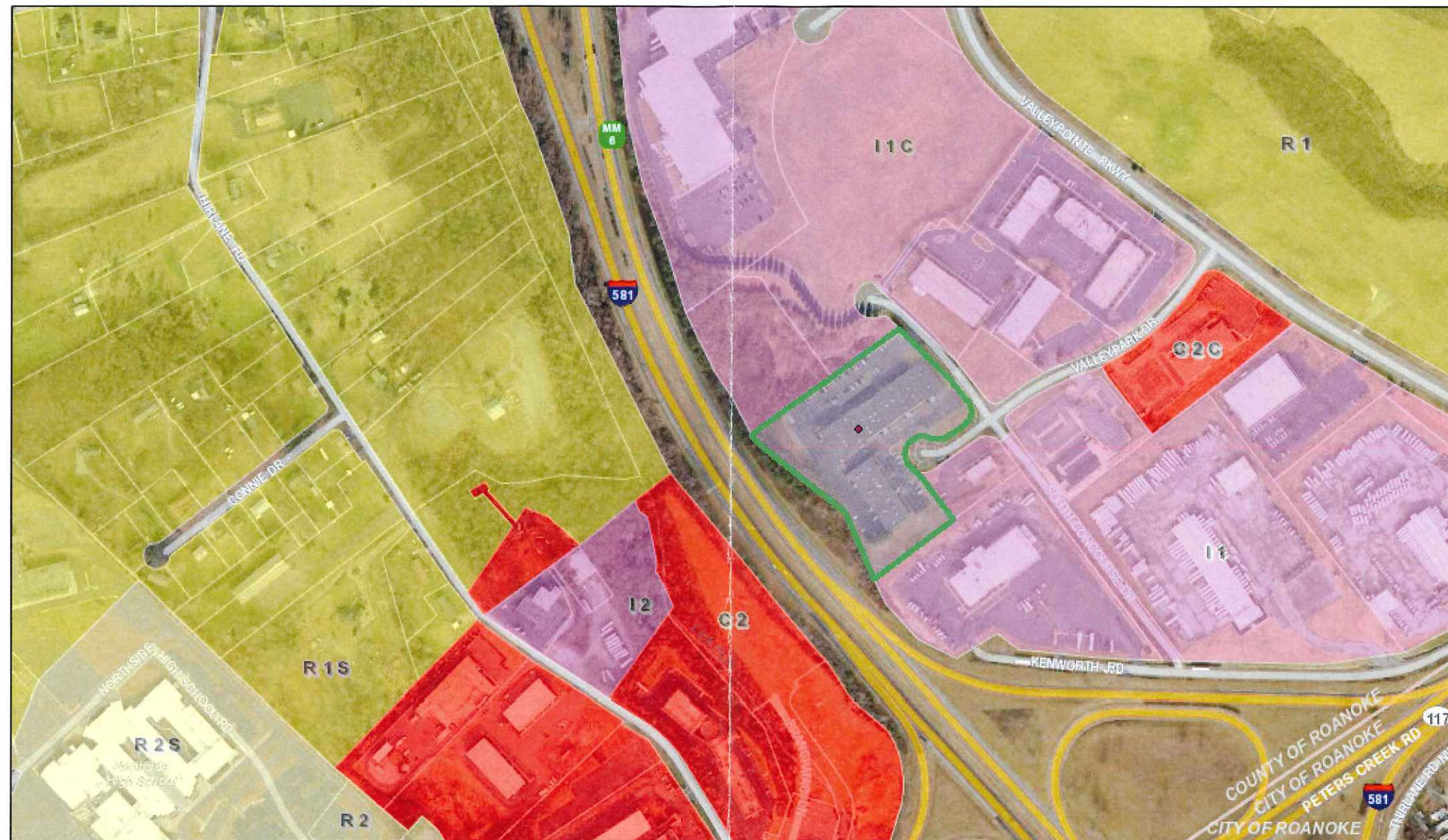


- ❖ Property to the NORTH of 5305 Valley Park Drive (lot "A" on map provided above)
  - Lot Address: 5251 South Concourse Drive
  - Owner: Roanoke Valleypointe, LLC (c/o Hall Associates)
  - Owner's Address: 213 S. Jefferson St., Ste 1007, Roanoke, VA 24011
  - Tax Map Number: 037.07-01-14.03-0000
- ❖ Property to the NORTHEAST of 5305 Valley Park Drive (lot "B" on map provided above)
  - Lot Address: 0 Valley Park Drive
  - Owner: Valley Point Holding Company
  - Owner's Address: 2404 Electric Rd., Ste B, Roanoke, VA 24018
  - Tax Map Number: 037.07-01-14.09-0000
- ❖ Property to the EAST of 5305 Valley Park Drive (lot "C" on map provided above)
  - Lot Address: 5240 Valley Park Drive
  - Owner: Tech Federal Credit Union
  - Owner's Address: PO Box 1999 Salem, VA 24153
  - Tax Map Number: 037.07-01-14.04-0000

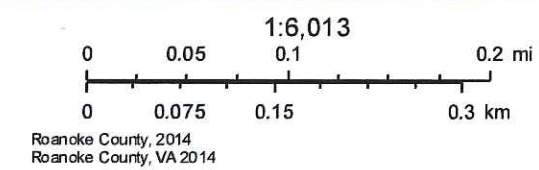


- ❖ Property to the SOUTHEAST of 5305 Valleypark Drive (lot "D" on map provided above)
  - Lot Address: 5304 Valleypark Drive
  - Owner: Domet Properties, LLC
  - Owner's Address: 5304 Valley Park Drive, Roanoke, VA 24019
  - Tax Map Number: 037.07-01-16.02-0000
- ❖ Property to the SOUTH-SOUTHEAST of 5305 Valleypark Drive (lot "E" on map provided above)
  - Lot Address: 4700 Kenworth Road
  - Owner: Truck Enterprises, Inc.
  - Owner's Address: PO Box 4470, Harrisonburg, VA 22801
  - Tax Map Number: 037.07-01-10.00-0000
- ❖ Property to the SOUTH-SOUTHWEST of 5305 Valleypark Drive (across I-581) (lot "F" on map provided above)
  - Lot Address: 6627 Branchmac Lane
  - Owner: MacFarlane Granger
  - PO Box 201, Roanoke, VA 24011
  - Tax Map Number: 037.10-01-01.00-0000
- ❖ Property to the SOUTHWEST of 5305 Valleypark Drive (across I-581) (lot "G" on map provided above)
  - Lot Address: 0 Branchmac Lane
  - Owner: Powers, Calvin W.
  - PO Box 1068, Roanoke, VA 24022
  - Tax Map Number: 037.06-01-26.00-0000
- ❖ Property to the WEST of 5305 Valleypark Drive (across I-581) (lot "H" on map provided above)
  - Lot Address: 0 Thirlane Road
  - Owner: RHM Properties, LC
  - PO Box 11832, Roanoke, VA 24022
  - Tax Map Number: 037.06-01-01.00-0000
- ❖ Property to the NORTHWEST of 5305 Valleypark Drive (lot "I" on map provided above)
  - Lot Address: 0 Valleypark Drive
  - Owner: Valleypointe Prop Owners Assoc (c/o Hall Associates)
  - 213 S. Jefferson St., Ste 1007, Roanoke, VA 24011
  - Tax Map Number: 0337.07-01-17.00-0000
- ❖ Property to the NORTH-NORTHWEST of 5305 Valleypark Drive (lot "J" on map provided above)
  - Lot Address: 0 North Concourse Drive
  - Owner: Optical Cable Corporation
  - 5290 North Concourse Drive, Roanoke, VA 24019
  - Tax Map Number: 037.07-01-15.00-0000

# Zoning overlay



January 16, 2015



Tract 3D-1A1

Tax Map No. 037.07-01-16.00-0000

BEGINNING at Corner #1, an existing rebar iron pin said point being the southwesterly corner of Tract 3A-1, property of Domet Properties LLC (PB 23, PG 81), said point also located on the northwesterly property line of Truck Enterprises, Inc. (DB 1469, PG 1302); thence leaving Domet Properties LLC, and with Truck Enterprises, S. 52° 45' 01" W. 295.09 feet to Corner #2, an existing rebar iron pin said point located on the northeasterly right-of-way of Interstate 581; thence leaving Truck Enterprises and with the said right-of-way of Interstate 581 for the following 3 courses: N. 24° 42' 09" W. 231.36 feet to Corner #3, an existing VDH Monument; thence N. 50° 43' 15" W. 346.06 feet to Corner #4, an existing VDH monument; thence N. 27° 18' 30" W. 20.18 feet to Corner #4A, an existing rebar iron pin said point being the southerly corner of Tract 4A-1A (PB 23, PG 81); thence leaving Interstate 581 and with Tract 4A-1A, N. 55° 00' 00" E. 296.69 feet to Corner #10, said point being the southeasterly corner of property of Optical Cable Corporation Tract 3E-1A (PB 19, PG 40); thence leaving Tract 4A-1A and with Optical Cable Corp. Tract 3E-1A, N. 55° 00' 00" E. 255.92 feet to Corner #11, an existing rebar iron pin said point located on the southerly right-of-way of South Concourse Drive; thence leaving Optical Cable and with South Concourse Drive for the following 3 courses: thence with a curve to the right which said curve is defined by a delta angle of 9° 22' 03", a radius of 1407.40 feet, an arc length of 230.10, a chord of 229.85 feet and bearing S. 41° 56' 00" E. to Corner #12, an existing rebar iron pin; thence S. 37° 14' 59" E. 78.31 feet to Corner #13, an existing rebar iron pin; thence with a curve to the right, which said curve is defined by a delta angle of 92° 45' 00", a radius of 50.00 feet, an arc length of 80.94 feet, a chord of 72.39 feet and bearing S. 09° 07' 31" W. to Corner #14, an existing rebar iron pin, said point located on the westerly right-of-way of Valleypark Drive; thence with Valleypark Drive for the following 3 courses: S. 55° 30' 01" W. 68.08 feet to Corner #14A, an existing rebar iron pin; thence with a curve to the right, which said curve is defined by a delta angle of 75° 31' 17", a radius of 25.00 feet, an arc of 32.95 feet, a chord of 30.62 feet and bearing N. 86° 44' 20" W. to Corner #14B, an existing rebar iron pin; thence with a curve to the left which curve is defined by a delta angle of 206° 08' 16", a radius of 55.00 feet, an arc length of 197.88 feet, a chord of 107.15 feet and bearing S. 27° 57' 10" W. to Corner #18, an existing rebar iron pin said point located on the southerly boundary of property of Domet Properties LLC., Inc., Tract 3A-1 (PB 23, PG 81); thence leaving Valleypark Drive and with Domet Properties, LLC, S. 34° 42' 35" E. 181.61 feet to Corner #1, the place of BEGINNING and containing 5.597 acres and being all of Tract 3D-1A1, as recorded in Plat Book 23, page 81 in the Clerk's Office of the Circuit Court for the County of Roanoke, Virginia, and as shown on ALTA/ACSM Land Title Survey made by Lumsden Associates, P.C., dated December 2, 1999, last revised June 27, 2000 (Commission #00-163 / File #00163-3D-AL.DWG).



**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

**Owner Name and Mailing Address:**  
ROANOKE VALLEYPONTE LLC  
C/O HALL ASSOCIATES 213 S JEFFERSON ST STE 1007  
ROANOKE VA 24011

**Current Property Assessment 2015**

**Total Building Value:** 4902800  
**Total Land Value:** 782600  
**Total Value:** 5685400

**Card: 2**      **Total Building Value:** 3291200



**Narrative Description**

This property contains 5.59000 AC of land with a(n) OFFICE style building, Built about 1998, having primary FACE BRICK secondary CONCRETE BLOCK exterior and RUBBER roof cover, 0 bedroom(s), 0 full bath(s), 0 half bath(s).

**Property Characteristics**

**Jurisdiction:** COUNTY  
**Legal Description:** TR 3D 1A1 VALLEYPONTE  
**Deeded Acreage:** 5.59000 AC      **Neighborhood:** F002 / VALLEYPONTE  
**Estimated Acreage:** 5.4424408 AC      **Census Block:** 511610302051020  
**Vacant Land:** NO      **Land Use Program:** NO

**Sales Information**  
**Most Recent Sales**

<u>Sale Date</u>	<u>Sale Price</u>	<u>Legal Reference</u>	<u>Sales Description</u>
7/7/2000	13300000	DB0016631218	MULTI PARCEL SALE
6/22/2000	0	PB0000230081	PLAT
6/22/2000	0	DB0016600484	UNKNOWN REASON
6/7/2000	0	DB0016600492	NEEDS REVIEW
8/25/1997	353000	DB0015520885	SPLIT
9/26/1996	0	DB0015210974	NEEDS REVIEW

Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

### Zoning Information

Split: NO

Zoning Code  
County-I1

Zoning Description  
[County-I1/Industrial \(Light\) District](#)

Action No:

Date:

Ordinance:

Name:



Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

#### Overlay Districts

Emergency Communications: No  
Airport: Yes  
Wellhead Protection: No  
Floodplain: No

Roanoke River Conservation: No  
\*Manufactured Housing: No  
Clearbrook Village: No

\*For more Information on Roanoke County Zoning, please call 540-772-2068 or visit

<http://www.roanokecountyva.gov/pz>

#### Flood Zone Information

Community Number: 510190

Flood Certificates FIRM Panel:  
Flood Zone:

Effective Date:  
Floodway:

#### Building Description

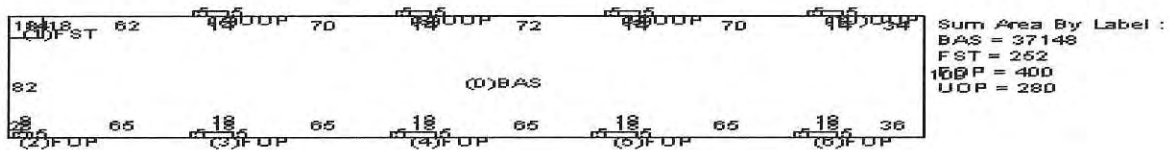
<b>Building Type:</b>	OFFICE	<b>Foundation Type:</b>	SPREAD FOOTING
<b>Year Built:</b>	1998	<b>Roof Structure:</b>	BAR JOIST
<b>Finished Area (SF):</b>	37148	<b>Roof Cover:</b>	RUBBER
<b>Style/Story Height:</b>	1.0 STORY	<b>Primary Exterior Wall:</b>	FACE BRICK
<b>Bedrooms:</b>	0	<b>Secondary Exterior Wall:</b>	CONCRETE BLOCK
<b>Full Baths:</b>	0	<b>Primary Interior Walls:</b>	DRYWALL
<b>Half Baths:</b>	0	<b>Secondary Interior Wall:</b>	
<b>Air Conditioning:</b>	100%	<b>Primary Floors:</b>	CARPET
<b>Heating:</b>	100%	<b>Secondary Floors:</b>	
<b>Heating Type:</b>	AIR-DUCTED	<b>Basement Garage:</b>	
<b>Heating Fuel:</b>	GAS	<b>Fireplace:</b>	



Property Location: 5305 VALLEYPARK DR  
Parcel ID: 037.07-01-16.00-0000  
Magisterial District: CATAWBA  
Account: 10822  
Card 2 of 2

### Building Areas

Sub Area	Sketched Area	Finished Area	Perimeter
BASE	37148	37148	1006
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	40	0	26
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN FINISHED	90	0	46
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
PORCH-OPEN UNFINISHED	70	0	38
STORAGE-FINISHED	252	0	64



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**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

---

#### Services

**Trash Service:** [WEDNESDAY](#)

**Bulk & Brush Pickup:** [B ROUTE](#)

**Recycling:** [Map](#)

HOLLINS UNIVERSITY (3.83 miles)

**Recreational Center:** [Map](#)

GREEN RIDGE RECREATIONAL CENTER (0.63 miles)

**Library:** [Map](#)

HOLLINS BRANCH LIBRARY (2.49 miles)

**Western Virginia Water Authority** [Website](#)

**Water:** Water

**Sewer:** Sewer

**Police Station:** [Map](#)

Public Safety Center, 5925 Cove Rd, Roanoke VA

**Fire Station:** [Map](#)

HOLLINS

---

#### Schools

**Elementary School:** [GLEN COVE](#)

**Middle School:** [NORTHSIDE](#)

**High School:** [NORTHSIDE](#)



**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

### Broadband Providers

#### Wireless 4G

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
AT&T MOBILITY, LLC.	1.5 - 3 Mbps	3 - 6 Mbps
T-MOBILE	1.5 - 3 Mbps	6 - 10 Mbps
T-MOBILE	1.5 - 3 Mbps	10 - 25 Mbps
T-MOBILE	6 - 10 Mbps	10 - 25 Mbps
VERIZON WIRELESS	3 - 6 Mbps	10 - 25 Mbps

#### Wireless LTE

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
AT&T MOBILITY, LLC.	3 - 6 Mbps	10 - 25 Mbps
VERIZON WIRELESS	3 - 6 Mbps	10 - 25 Mbps

#### Wireline Cable

<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
COX COMMUNICATIONS	10 - 25 Mbps	100 - 1000 Mbps

#### Wireline DSL

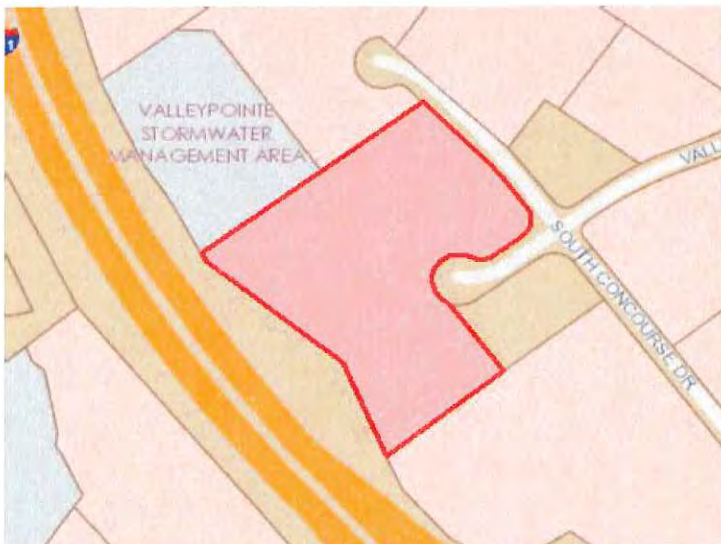
<u>Provider Name</u>	<u>Upload Speed</u>	<u>Download Speed</u>
VERIZON VIRGINIA, INC.	768 Kbps - 1.5 Mbps	3 - 6 Mbps

**Property Location:** 5305 VALLEYPARK DR  
**Parcel ID:** 037.07-01-16.00-0000  
**Magisterial District:** CATAWBA  
**Account:** 10822  
**Card 2 of 2**

### Pictometry



### Tax Map



**Property Location:** 5305 VALLEYPARK DR

**Parcel ID:** 037.07-01-16.00-0000

**Magisterial District:** CATAWBA

**Account:** 10822

**Card 2 of 2**

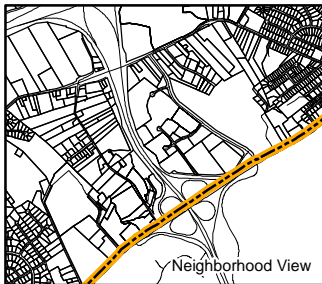
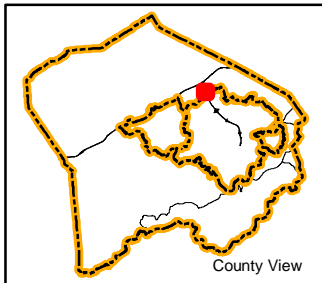
### Hybrid





# Nexstar Broadcasting, Inc.

Name: 8.5x11 (10.1) Map Template  
Prepared by: twood  
Date: Monday, January 26, 2015



**Aerial**



Jurisdictions

#### DISCLAIMER

This data is provided "as is" and the County of Roanoke expressly disclaims all warranties, explicit or otherwise, regarding the data including accuracy, completeness, reliability, timeliness, or suitability for any purpose. The data is provided for informational purposes only and should not be used for any purpose other than that for which it was intended. The data is provided as a service to the public and is not intended to be used for any purpose other than that for which it was intended. The data is provided as a service to the public and is not intended to be used for any purpose other than that for which it was intended.

Roanoke County - Community Development Department - GIS Division

1 inch = 417 feet

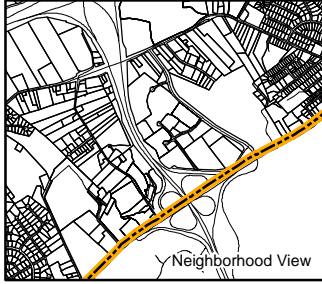
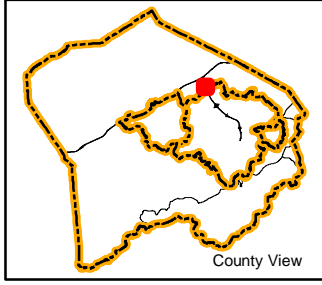
0 55 110 220 330 440 Feet










# Nexstar Broadcasting, Inc.

Name: 8.5x11 (10:1) Map Template  
Prepared by: twood  
Date: Monday, January 26, 2015



## Zoning

-  C2
-  I1
-  I2
-  R1
-  R2

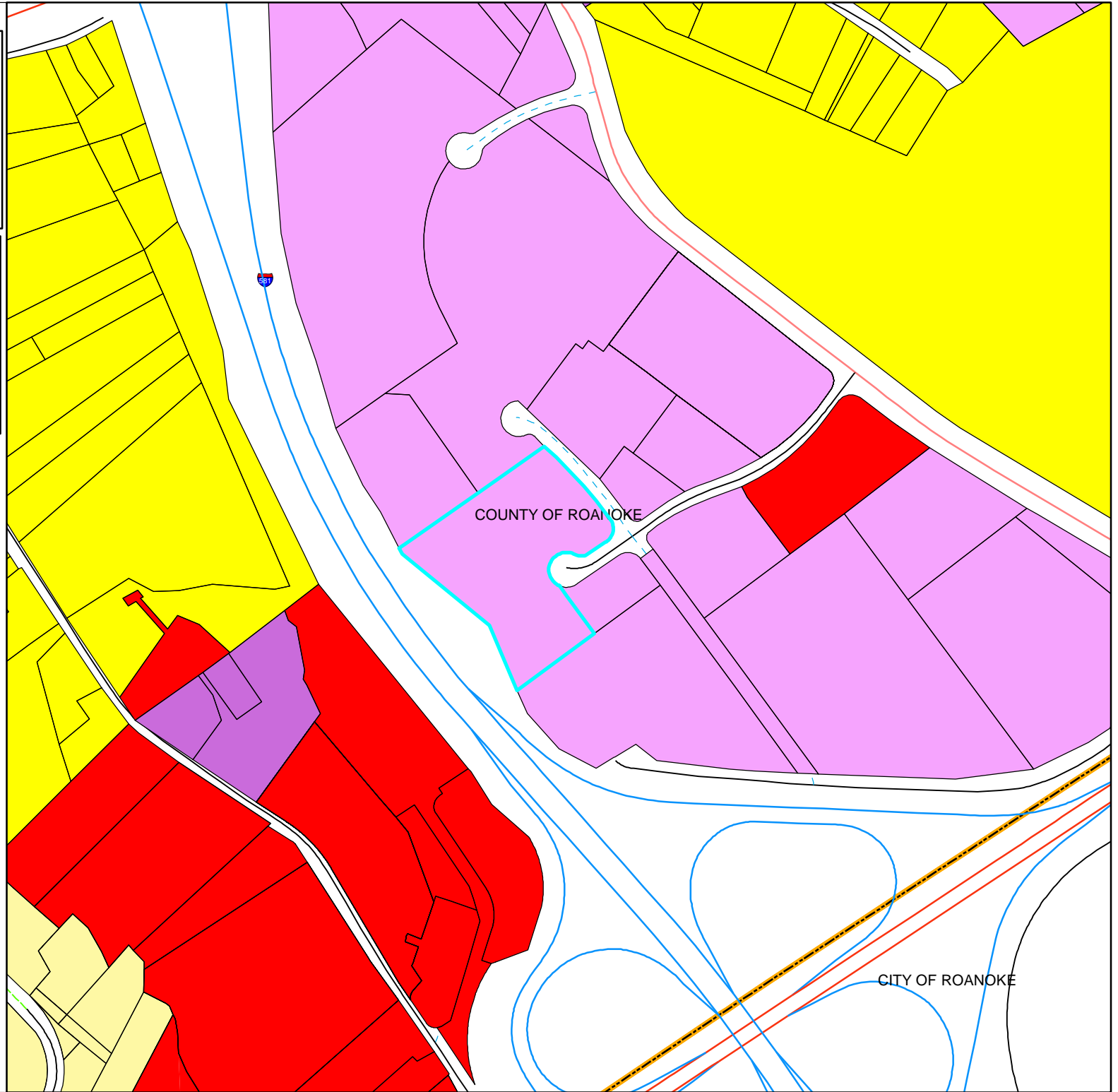
### DISCLAIMER

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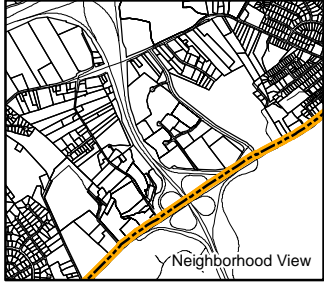
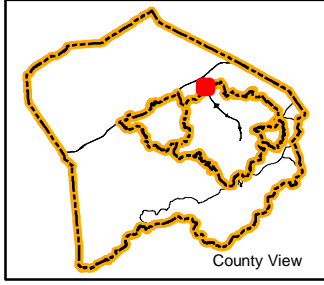
1 inch = 417 feet

0 55 110 220 330 440 Feet



# Nexstar Broadcasting, Inc.

Name: 8.5x11 (10:1) Map Template  
Prepared by: twood  
Date: Monday, January 26, 2015



## FutureLandUse

- Neighborhood Conservation
- Transition
- Core
- Principal Industrial

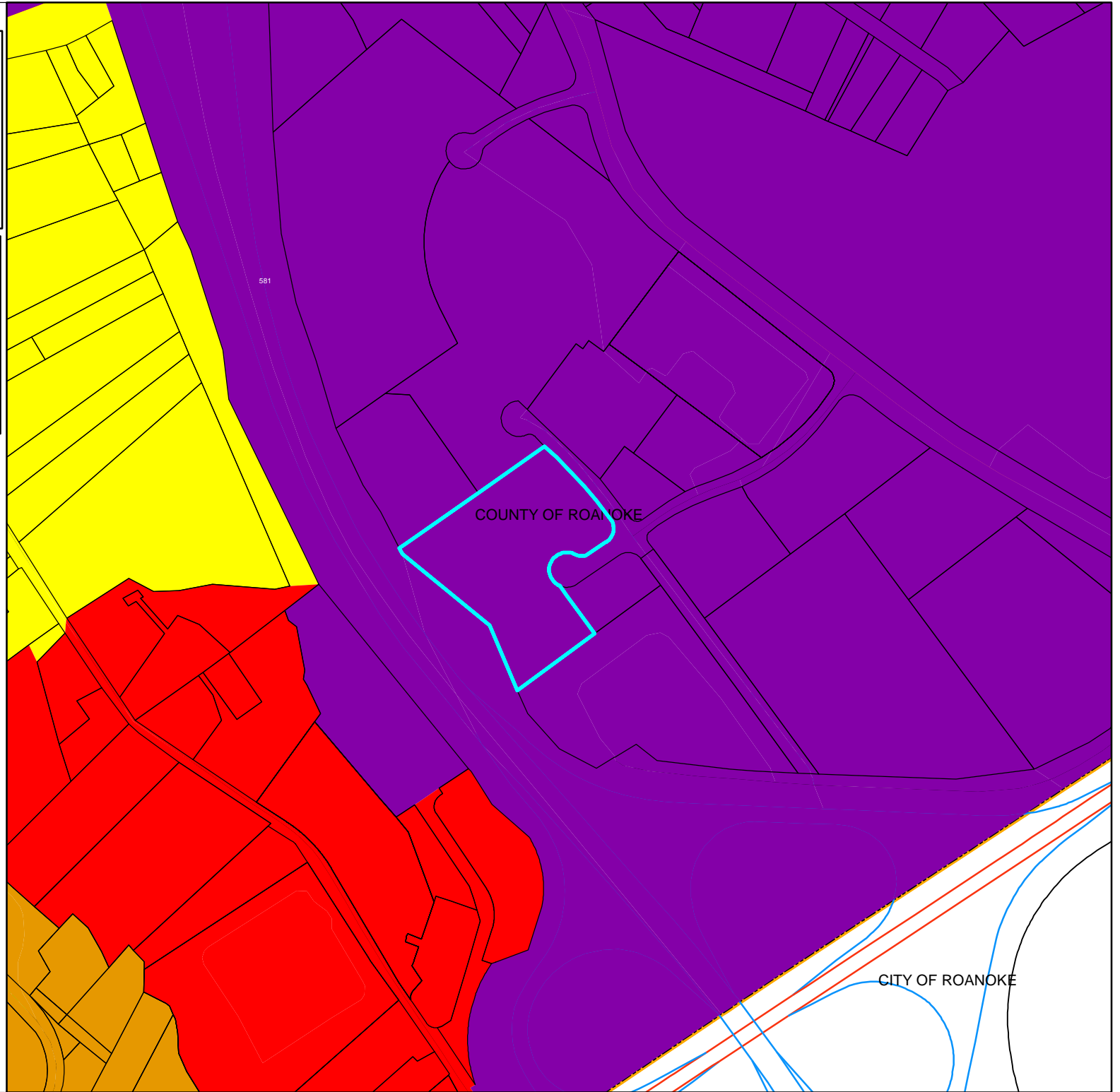
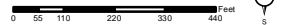
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Creation: This map represents approximate locations and values. It is subject to mapping errors and is not intended to be used for any purpose other than that for which it was created. The map is not intended to be used for any purpose other than that for which it was created. The map is not intended to be used for any purpose other than that for which it was created.

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1 inch = 417 feet



**SEC. 30-54. C-2 HIGH INTENSITY COMMERCIAL DISTRICT.**

**Sec. 30-54-1. Purpose.**

- (A) The purpose of this district is to provide locations for a variety of commercial and service related activities within the urban service area serving a community of several neighborhoods or large areas of the county. This district is intended for general application throughout the county. High intensity commercial districts are most appropriately found along major arterial thoroughfares which serve large segments of the county's population. The C-2 district permits a wide variety of retail and service related uses. Land uses permitted in this district are generally consistent with the recommendations set forth in the transition and core land use categories of the comprehensive plan. Site development regulations are designed to ensure compatibility with adjoining land uses.

(Ord. No. 042208-16, § 1, 4-22-08, Ord. No. 111213-15, § 1, 11-12-13)

**Sec. 30-54-2. Permitted Uses.**

- (A) The following uses are permitted by right subject to all other applicable requirements contained in this ordinance. An asterisk (\*) indicates additional, modified or more stringent standards as listed in article IV, use and design standards, for those specific uses.

1. *Residential Uses*

Accessory Apartment \*

Home Beauty/Barber Salon \*

Home Occupation, Type I \*

Multi-Family Dwelling \*

Two-Family Dwelling \*

2. *Civic Uses*

Administrative Services

Clubs

Cultural Services

Day Care Center \*

Educational Facilities, College/University

Educational Facilities, Primary/Secondary \*

Family Day Care Home \*

Guidance Services

Park and Ride Facility \*

Post Office

Public Assembly

Public Parks and Recreational Areas \*

Safety Services \*

Utility Services, Minor

3. *Office Uses*

Financial Institutions \*

General Office

Medical Office

Laboratories

4. *Commercial Uses*

Agricultural Services \*

Antique Shops

Automobile Dealership \*

Automobile Repair Services, Minor \*

Automobile Rental/Leasing

Automobile Parts/Supply, Retail \*

Bed and Breakfast \*



Boarding House

Business Support Services

Business or Trade Schools

Commercial Indoor Entertainment

Commercial Indoor Sports and Recreation

Commercial Outdoor Entertainment

Commercial Outdoor Sports and Recreation

Communications Services

Construction Sales and Services \*

Consumer Repair Services

Convenience Store \*

Fuel Center \*

Funeral Services

Garden Center \*

Gasoline Station \*

Hospital

Hotel/Motel/Motor Lodge

Kennel, Commercial \*

Pawn Shop

Personal Improvement Services

Personal Services

Restaurant, Drive-in or Fast Food \*

Restaurant, General

Retail Sales

Studio, Fine Arts

Veterinary Hospital/Clinic

5. *Industrial Uses*

Recycling Centers and Stations \*

6. *Miscellaneous Uses*

Amateur Radio Tower \*

Parking Facility \*

- (B) The following uses are allowed only by special use permit pursuant to section 30-19. An asterisk (\*) indicates additional, modified or more stringent standards as listed in article IV, use and design standards, for those specific uses.

1. *Civic Uses*

Adult Care Residences

Halfway House

Life Care Facility

Nursing Home

Religious Assembly \*

Utility Services, Major \*

2. *Commercial Uses*

Adult Business \*

Automobile Repair Services, Major \*

Car Wash \*

Commercial Indoor Amusement

Dance Hall

Equipment Sales and Rental \*

Manufactured Home Sales \*

Mini-warehouse \*

Outpatient Mental Health and Substance Abuse Center

Recreational Vehicle Sales and Service \*

Surplus Sales

Truck Stop \*

3. *Industrial Uses*

Custom Manufacturing \*

Industry, Type I

Landfill, Rubble \*

Transportation Terminal

4. *Miscellaneous Uses*

Broadcasting Tower \*

Outdoor Gatherings \*

(Ord. No. 82493-8, § 2, 8-24-93; Ord. No. 022796-14, § 1, 2-27-96; 042297-14, § 1, 4-22-97; Ord. No. 042799-11, § 2, 4-27-99; Ord. No. 102803-15, § 2, 10-28-03; Ord. No. 102505-7, § 2, 10-25-05; Ord. No. 042208-16, § 1, 4-22-08; Ord. No. 052411-9, § 1, 5-24-11, Ord. No. 111213-15, § 1, 11-12-13)

**Sec. 30-54-3. Site Development Regulations.**

General Standards. For additional, modified, or more stringent standards for specific uses, see Article IV, Use and Design Standards.

(A) Minimum lot requirements.

1. Lots served by private well and sewage disposal system;
  - a. Area: 1 acre (43,560 square feet).

- b. Frontage: 100 feet on a publicly owned and maintained street.
- 2. Lots served by either public sewer or water, or both:
  - a. Area: 15,000 square feet.
  - b. Frontage: 75 feet on a publicly owned and maintained street.
- (B) Minimum setback requirements.
  - 1. Front yard:
    - a. Principal structures: 30 feet, or 20 feet when all parking is located behind the front building line.
    - b. Accessory structures: Behind the front building line.
  - 2. Side yard: None.
  - 3. Rear yard:
    - a. Principal structures: 15 feet.
    - b. Accessory structures: 3 feet.
  - 4. Where a lot fronts on more than one street, front yard setbacks shall apply to all streets.
- (C) Maximum height of structures.
  - 1. Height limitations:
    - a. Principal structures: When adjoining property zoned R-1 or R-2, 45 feet, including rooftop mechanical equipment. The maximum height may be increased, provided each required side and rear yard adjoining the R-1 or R-2 district is increased two feet for each foot in height over 45 feet. In all locations the height is unlimited unless otherwise restricted by this ordinance.
    - b. Accessory structures: actual height of principal structure.
- (D) Maximum coverage.
  - 1. Building coverage: 50 percent of the total lot area.
  - 2. Lot coverage: 90 percent of the total lot area.

(Ord. No. 62293-12, § 10, 6-22-93)

**SEC. 30-61. I-1 LOW INTENSITY INDUSTRIAL DISTRICT.**

**Sec. 30-61-1. Purpose.**

- (A) The purpose of the I-1, low intensity industrial district is to provide areas within the urban service area which are suitable for less intensive industrial activities. These areas are primarily designated based on the suitability of the land in terms of slope and freedom from flooding, as well as the availability of adequate sewer and water capacity, access to arterial road network, and proximity to rail and airport facilities or the interstate highway system. This district generally coincides with the recommendations for the principal industrial land use category contained in the comprehensive plan, and particularly those areas unsuitable for more intensive or potentially hazardous industrial uses. Distributing these areas around the county in a planned manner to create employment centers within close proximity to residential growth areas and reduce heavy traffic generation of industrial uses is encouraged.

Since land with suitable characteristics for less intensive industrial development is limited in the county, a high degree of protection is promoted where industrial development is located adjacent to existing or future residential areas. The conversion and/or redevelopment of existing non-conforming uses in this district which are unrelated to industrial needs is also encouraged.

(Ord. No. 042799-11, § 1f., 4-27-99; Ord. No. 042208-16, § 1, 4-22-08)

**Sec. 30-61-2. Permitted Uses.**

- (A) The following uses are permitted by right subject to all other applicable requirements contained in this ordinance. An asterisk (\*) indicates additional, modified or more stringent standards as listed in article IV, use and design standards, for those specific uses.

1. *Agricultural and Forestry Uses*

Agriculture

2. *Civic Uses*

Administrative Services

Day Care Center \*

Park and Ride Facility

Post Office

Public Maintenance and Service Facilities

Public Parks and Recreational Areas \*

Safety Services

Utility Services, Major \*

Utility Services, Minor

3. *Office Uses*

Financial Institutions \*

General Office

Laboratories

4. *Commercial Uses*

Automobile Repair Services, Major \*

Business Support Services

Business or Trade Schools

Equipment Sales and Rental \*

Laundry

Restaurant, General

Retail Sales

5. *Industrial Uses*

Custom Manufacturing \*

Industry, Type I

Landfill, Rubble \*

Recycling Centers and Stations \*

Transportation Terminal

Truck Terminal



Warehousing and Distribution

6. *Miscellaneous Uses*

Amateur Radio Tower \*

Parking Facility \*

Wind Energy System, Small\*

- (B) The following uses are allowed only by special use permit pursuant to section 30-19. An asterisk (\*) indicates additional, modified or more stringent standards as listed in article IV, use and design standards, for those specific uses.

1. *Commercial Uses*

Commercial Indoor Sports and Recreation

Mini-warehouse \*

Surplus Sales

Truck Stop \*

2. *Industrial Uses*

Composting \*

Construction Yards \*

Resource Extraction \*

Transfer Station \*

3. *Miscellaneous Uses*

Aviation Facilities, Private \*

Broadcasting Tower \*

Outdoor Gatherings \*

Wind Energy System, Large \*

Wind Energy System, Utility \*

(Ord. No. 82493-8, § 2, 8-24-93; Ord. No. 042297, § 1, 4-22-97; Ord. No. 042799-11, § 2, 4-27-99; Ord. No. 082807-18, § 1, 8-28-07; Ord. No. 042208-16, § 1, 4-22-08; Ord. No. 030811-1, § 1, 3-8-11; Ord. No. 052411-9, § 1, 5-24-11; Ord. No. 091311-7, § 1, 9-13-11, Ord. No. 111213-15, § 1, 11-12-13)

**Sec. 30-61-3. Site Development Regulations.**

General Standards. For additional, modified, or more stringent standards for specific uses, see Article IV, Use and Design Standards.

(A) Minimum lot requirements.

1. Lots served by private well and sewage disposal system;
  - a. Area: 1 acre (43,560 square feet).
  - b. Frontage: 100 feet on a publicly owned and maintained street.
2. Lots served by either public sewer or water, or both:
  - a. Area: 15,000 square feet.
  - b. Frontage: 75 feet on a publicly owned and maintained street.

(B) Minimum setback requirements.

1. Front yard: 30 feet, or 20 feet when all parking is located behind the front building line.
2. Side yard:
  - a. Principal structures: 10 feet.
  - b. Accessory structures: behind front building line and 3 feet from side line.
3. Rear yard:
  - a. Principal structures: 15 feet.
  - b. Accessory structures: 3 feet.
4. Where a lot fronts on more than one street, front yard setbacks shall apply to all streets.

(C) Maximum height of structures.

1. Height limitations:
  - a. All structures: When adjoining property zoned residential, forty-five (45) feet, including rooftop mechanical equipment. The maximum height may be increased provided each required side and/or rear yard adjoining a residential district is increased two (2) feet for each foot in height over forty-five (45) feet. This distance shall be measured from the portion of the structure which exceeds forty-five (45) feet. In all other locations the height is unlimited.

(D) Maximum coverage.

1. Building coverage: 50 percent of the total lot area.
2. Lot coverage: 90 percent of the total lot area.

(Ord. No. 42694-12, § 9, 4-26-94; Ord. No. 042208-16, § 1, 4-22-08)